

AGENDA



ARCHITECTURAL REVIEW BOARD MEETING

CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS

APRIL 25, 2023 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = **RED**

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC), and do not involve discretionary approvals.

(1) **SP2023-013 (BETHANY ROSS)**

Discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Vache Ourfalian for the approval of a Site Plan to convert a single-family home into an office building on a 0.88-acre tract of land identified as Lot 4 of the Greenvally Addition and a portion of Tract 22 of the H. B. Jones Survey, Abstract No. 124, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 69 (PD-69) for Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1209 N. Goliad Street [*SH-205*], and take any action necessary.

(2) **SP2023-014 (BETHANY ROSS)**

Discuss and consider a request by Ashley Egan for the approval of an Amended Site Plan for an office building on a 0.5090-acre tract of land identified Block 80 B of the B. F. Boydston Survey, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street, and take any action necessary.

(IV) ACTION ITEMS

(3) **SP2023-015 (BETHANY ROSS)**

Discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf of Dan Bobst of HH Retail Center, LP for the approval of a Site Plan for a *restaurant* on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Subdistrict of Planned Development District 32 (PD-32), located within the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of the intersection of the IH-30 Frontage Road and Sunset Ridge Drive, and take any action necessary.

(4) **SP2023-017 (BETHANY ROSS)**

Discuss and consider a request by David Srovji on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a Site Plan for a *retail shopping center and house of worship* on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [*FM-740*], and take any action necessary.

(V) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on April 21, 2023 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/20/2023

PROJECT NUMBER: SP2023-013
PROJECT NAME: Site Plan for Alkaios Transportation
SITE ADDRESS/LOCATIONS: 1209 N GOLIAD ST

CASE CAPTION: Discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Vache Ourfalian for the approval of a Site Plan to convert a single-family home into an office building on a 0.88-acre tract of land identified as Lot 4 of the Greenvally Addition and a portion of Tract 22 of the H. B. Jones Survey, Abstract No. 124, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 69 (PD-69) for Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1209 N. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	04/19/2023	Approved w/ Comments

04/19/2023: SP2023-013; Site Plan for an Office at 1209 N. Goliad

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Dub Douphrate of Douphrate and Associates on behalf of Vache Ourfalian for the approval of a Site Plan to convert a single-family home into an office building on a 0.88-acre tract of land identified as Lot 4 of the Greenvally Addition and a portion of Tract 22 of the H. B. Jones Survey, Abstract No. 124, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 69 (PD-69) for Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1209 N. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (SP2023-013) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Planned Development District 69 (PD-69) Standards, the Residential Office (RO) District Standards, and the Development Standards of Article 05, that are applicable to the subject property.

M.5 Site Plan:

1. The site will need to be platted after site plan approval to establish new easements.
2. Two (2) more accent trees are required along the frontage of SH-205. (Subsection 06.02.E, of Article 05, of UDC)
3. The landscape plan provided does not provide indication of trees being removed. Please provide indication of which trees are being removed and the tree mitigation required. (Section 5, of Article 09, UDC)

I.6 Please note that failure to address all comments provided by staff by 3:00 PM on May 2, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 2, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff

ample time to review the case prior to the May 9, 2023 Planning & Zoning Meeting.

I.8 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on April 25, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on May 9, 2023.

I.9 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/20/2023	Needs Review

- 04/20/2023: - Show barricade and "Dead End" signage.
- 20' min radius
 - Grate inlets not allowed.
 - Face of curb.
 - Fire hydrant may be required on site at time of this building construction.

The following items are informational for the engineering design process.

- All parking is 20'x9'
- No dead end parking without 64'x15' hammerhead (no parking) or cul-de-sac turn around
- All dumpsters to have an oil/water separator draining to storm system.
- No structures in easements
- No landscaping within 10' of 10" and larger diameter utility lines and 5' of utility lines less than 10" in diameter.
- Engineering review fees
- Impact fees
- Engineering Inspection fees
- Retaining walls 3' and over must be engineered
- All retaining walls to be rock or stone face. No smooth concrete walls.
- Minimum easement width is 20'. No structures in easements.
- Must meet all of the City's Engineering Standards of Design and Construction.
- Need to show prop. and ex. utilities and approved flood plain
- TXDOT permitting required for work within Goliad ROW.
- Detention is required for new impervious area and future area of expansion as shown on landscape plan
- ROW dedication along N. Goliad may be required depending on actual ROW width.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/19/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/17/2023	Needs Review

04/17/2023: Show the location of the existing/proposed fire hydrant for coverage of the new addition to the garage.

Note: A complete fire lane, including the required minimum width of 24 feet and an approved turn-around when extended to more than 150 feet in length, shall be provided before any future additions to the property.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/18/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/17/2023	Approved

No Comments

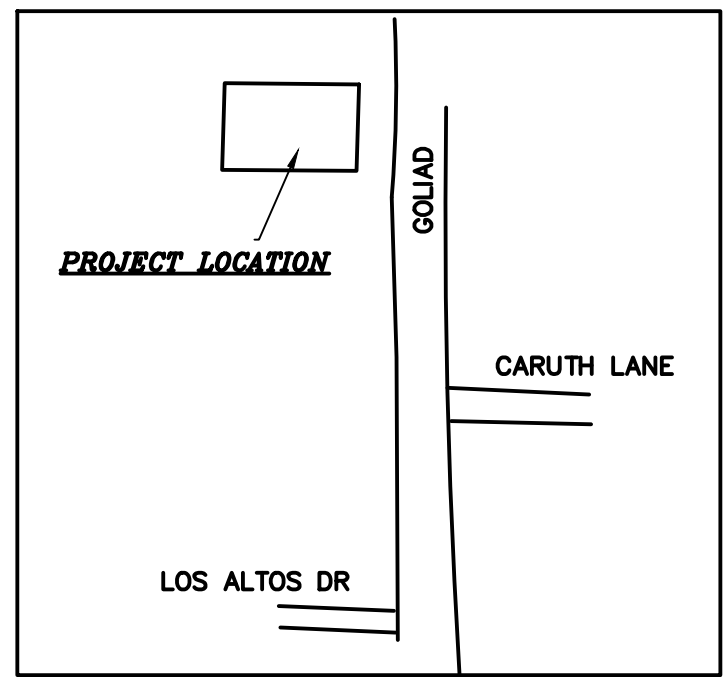
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/17/2023	Approved w/ Comments

04/17/2023: Please provide tree mitigation plan and landscape plan

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



1209 N. GOLIAD
BEING PART OF THE J.H.B. JONES SURVEY, ABST. No. 124
AND TEH S.S. McCURRY SURVEY, ABSTRACT No. 146
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

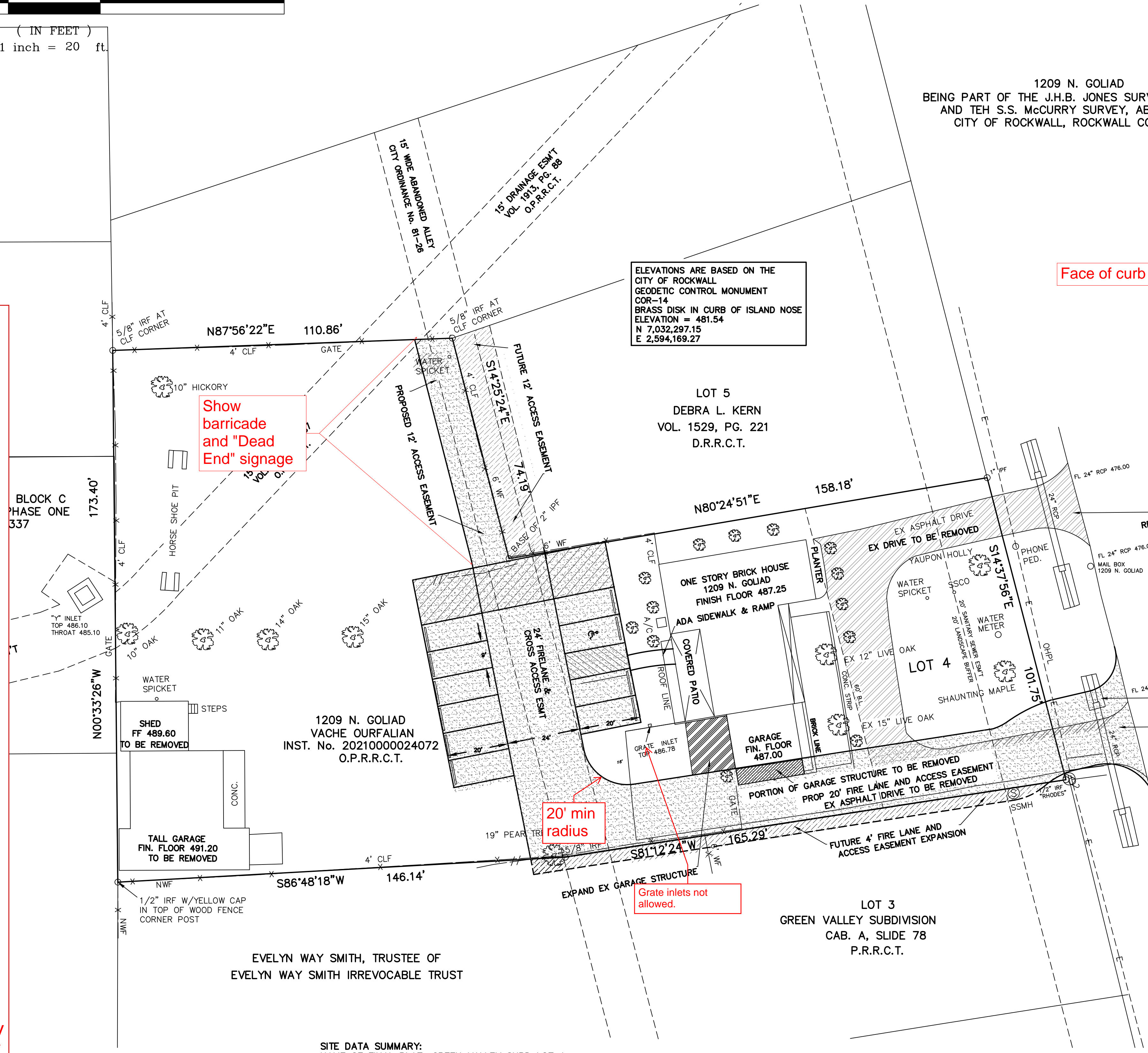
ELEVATIONS ARE BASED ON THE
CITY OF ROCKWALL
GEODETIC CONTROL MONUMENT
COR-14
BRASS DISK IN CURB OF ISLAND NOSE
ELEVATION = 481.54
N 7,032,297.15
E 2,594,169.27

Face of curb

NOTE:
DIMENSIONS ARE TO BACK
OF CURB OR EDGE OF PAVEMENT

STORMWATER DETENTION TO BE CONTAINED
WITHIN PROPOSED PARKING IN REAR
OF LOT 1209 N. GOLIAD

- All parking is 20'x9'
- No dead end parking without 64'x15' hammerhead (no parking) or cul-de-sac turn around
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Show barricade and "Dead End" signage

20' min radius

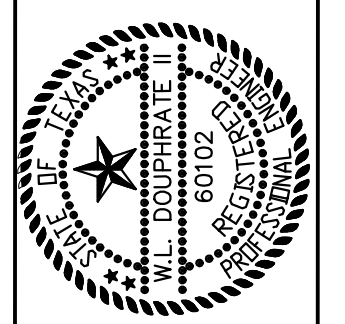
Grate inlets not allowed.

SITE DATA SUMMARY:
NAME OF FINAL PLAT: GREEN VALLEY SUBD LOT 4
ZONING: RO (RESIDENTIAL OFFICE DISTRICT)
PROPOSED USE: BUSINESS OFFICE
EXIST BUILDING SQUARE FOOTAGE: 1209 GOLIAD-2324 SF
PROPOSED BUILDING EXPANSION SQUARE FOOTAGE: NONE
TOTAL LOT AREA : 1209 N GOLIAD 21,780 SF = 0.88 ACRES
BUILDING HEIGHT: 28 FT
LOT BLDG COVERAGE: 1209 GOLIAD 10.7%
PARKING SPACES REQUIRED 1209: 1 SPACE/300 SF= 8 SPACES
HANDICAP PARKING REQUIRED: 1 EA
TOTAL PARKING SPACES PROVIDED: 1209 GOLIAD 10 SPACES
HANDICAP PARKING PROVIDED: 1EA
INTERIOR LANDSCAPING REQUIRED: 20%
INTERIOR LANDSCAPING PROVIDED: 20% 7,000 SF
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE (BLDGS + PARKING/FIRE LANE)=10,769 SF

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, _____
WITNESS OUR HANDS, THIS _____ DAY OF _____
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

OWNER
ALKAIOS TRANSPORTATION
1209 N. GOLIAD ST.
ROCKWALL, TX 75087
469-424-3234

- SCREENED WITH 3-5 GAL
- A MIXTURE OF 3-7
- ONE TEXAS SAGE DESPERADO & 3-5 GAL WAX LEAF
- LIGUSTRUM BUSHES
- 4. LANDSCAPE EACH BLDG FRONTAGE & SIDES WITH 16-5 GAL TEXAS RED YUCCA
- PLANTS
- 5. ALL MUTUAL ACCESS EASEMENTS TO BE PAVED PER CITY OF ROCKWALL STANDARDS OF DESIGN
- 6. ALL SHRUBS SHALL BE A 5 GAL MINIMUM IN SIZE.
- 7. 2 ACCENT TREES TO BE PLANTED WITHIN THE 20' LANDSCAPE BUFFER ON EACH LOT
- A TOTAL OF 1-SHAUNTING MAPLE & 1- YAUPON HOLLY



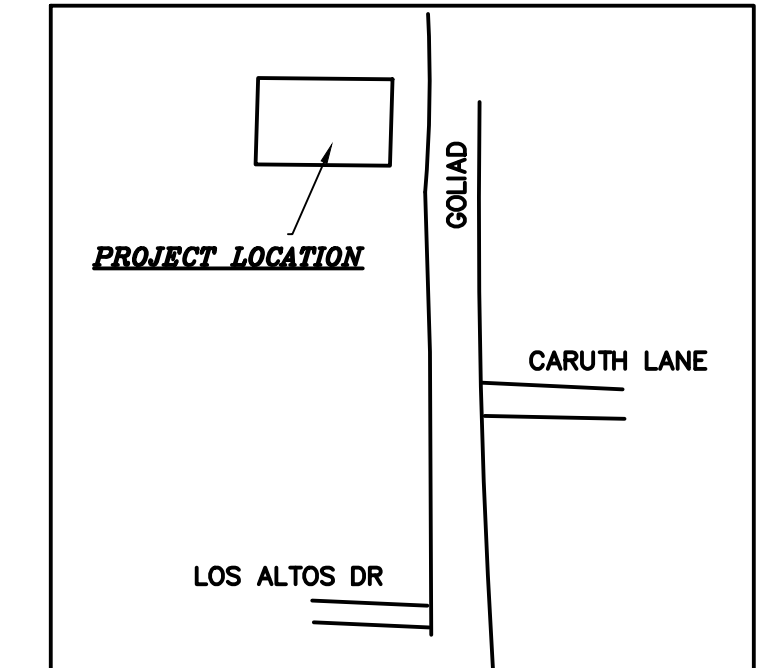
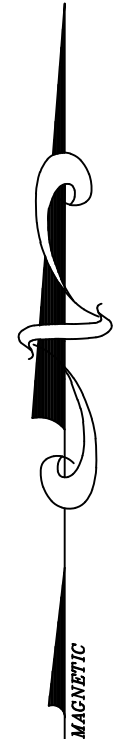
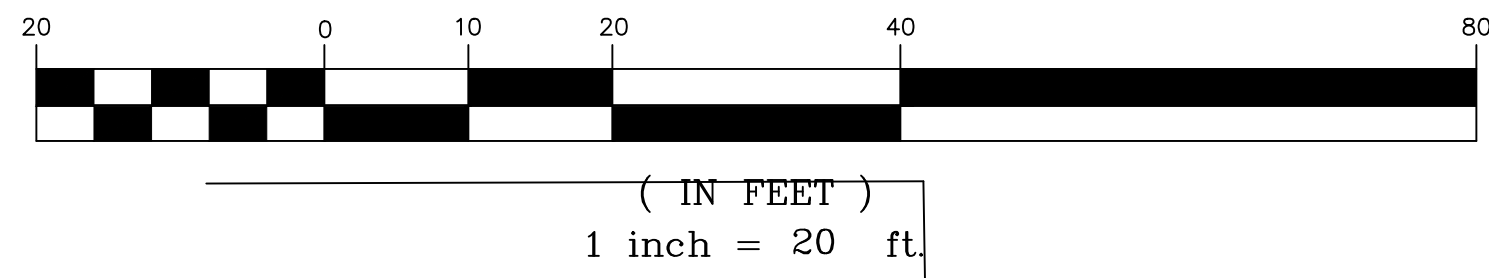
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY ALL APPROPRIATE TEXAS P.E. BOARDS ON MARCH 23, 2023

DOUPHRAITE & ASSOCIATES, INC.
ENGINEERING PROJECT MANAGEMENT SURVEYING
2266 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9006

SITE & LANDSCAPING PLAN
ALKAIOS TRANSPORTATION
1209 N. GOLIAD STREET ROCKWALL TEXAS 75087
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

REVISION	W.L.D.
CHECKED	W.L.D.
DRAWN	
SCALE	1"=20' H 1"=40' V
DATE	MAR 23, 2023
PROJECT	2302 SITE PL
	10

GRAPHIC SCALE

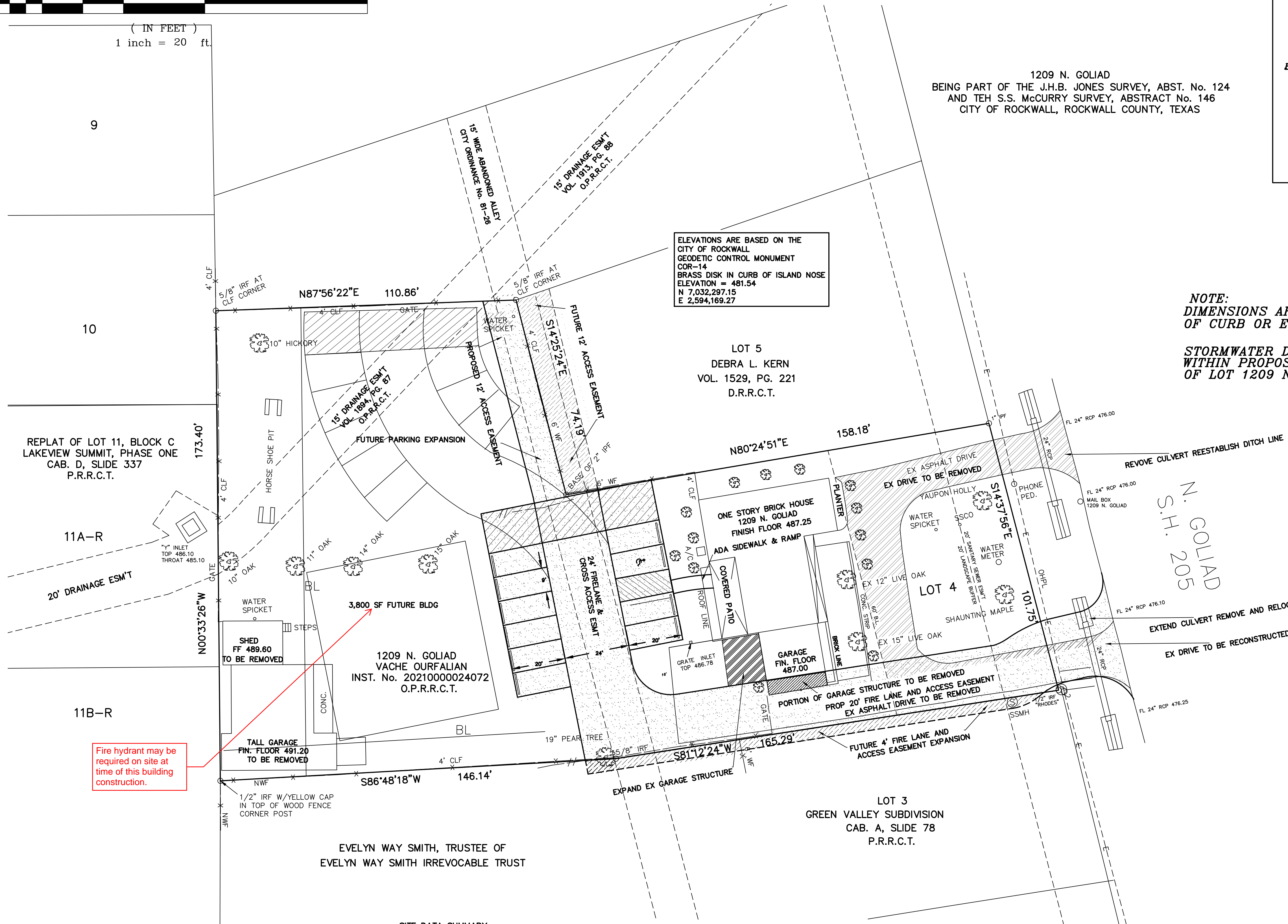


1209 N. GOLIAD
BEING PART OF THE J.H.B. JONES SURVEY, ABST. No. 124
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CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

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CITY OF ROCKWALL
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NOTE:
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STORMWATER DETENTION TO BE CONTAINED
WITHIN PROPOSED PARKING IN REAR
OF LOT 1209 N. GOLIAD



Fire hydrant may be
required on site at
time of this building
construction.

NOTES:

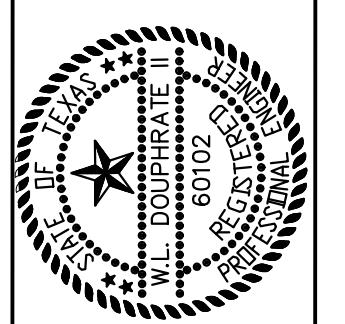
1. PARKING SPACES ARE 9'x20'
2. ALL GROUND MOUNTED HVAC TO BE SCREENED WITH 3-5 GAL TEXAS SAGE BUSHES
3. SCREEN PARKING FRONTAGE WITH A MIXTURE OF 3-7 GAL TEXAS SAGE DESPERADO & 3-5 GAL WAX LEAF LIGUSTRUM BUSHES
4. LANDSCAPE EACH BLDG FRONTAGE & SIDES WITH 16-5 GAL TEXAS RED YUCCA PLANTS
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APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN
FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED
BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL
ON THE _____ DAY OF _____
WITNESS OUR HANDS, THIS _____ DAY OF _____

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

OWNER
ALKAIOS TRANSPORTATION
1209 N. GOLIAD ST.
ROCKWALL, TX 75087
469-424-3234



THE SEAL APPEARING ON THIS
DOCUMENT WAS AUTHORIZED BY
THE BOARD OF ENGINEERING
EXAMINERS OF THE STATE OF TEXAS P.E.
NO. 60102 F-1564
DATE: MARCH 23, 2023

DOUPBRATE & ASSOCIATES, INC.
ENGINEERING PROJECT MANAGEMENT SURVEYING
22335 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

SITE & LANDSCAPING PLAN
ALKAIOS TRANSPORTATION
1209 N. GOLIAD STREET ROCKWALL, TEXAS 75087
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

REVISION	W.L.D.
CHECKED	W.L.D.
DRAWN	W.L.D.
SCALE	1"=20' H 1"=40' V
DATE	MAR 23, 2023
PROJECT	23012 SITE PL
	10



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. **SP2023-013**

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1209 N. Goliad

SUBDIVISION JNB Jones Surrey Abst 146 ¹²⁴ ^{Abst. 146} LOT _____ BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING RO CURRENT USE OFFICE

PROPOSED ZONING RO PROPOSED USE OFFICE

ACREAGE .88 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Yache Ourfalian</u>	<input checked="" type="checkbox"/> APPLICANT	<u>Doughrate Assoc., Inc.</u>
CONTACT PERSON		CONTACT PERSON	<u>Dub Doughrate</u>
ADDRESS	<u>1209 N. Goliad</u>	ADDRESS	<u>2235 Ridge Rd</u>
CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>	CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>
PHONE	<u>469.424.3234</u>	PHONE	<u>972.742.2210</u>
E-MAIL	<u>yache.ourfalian@gmail.com</u>	E-MAIL	<u>wldoughrate@doughrate.com</u>

NOTARY VERIFICATION [REQUIRED]

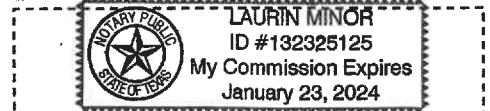
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Yache Ourfalian [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 207.100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF April 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

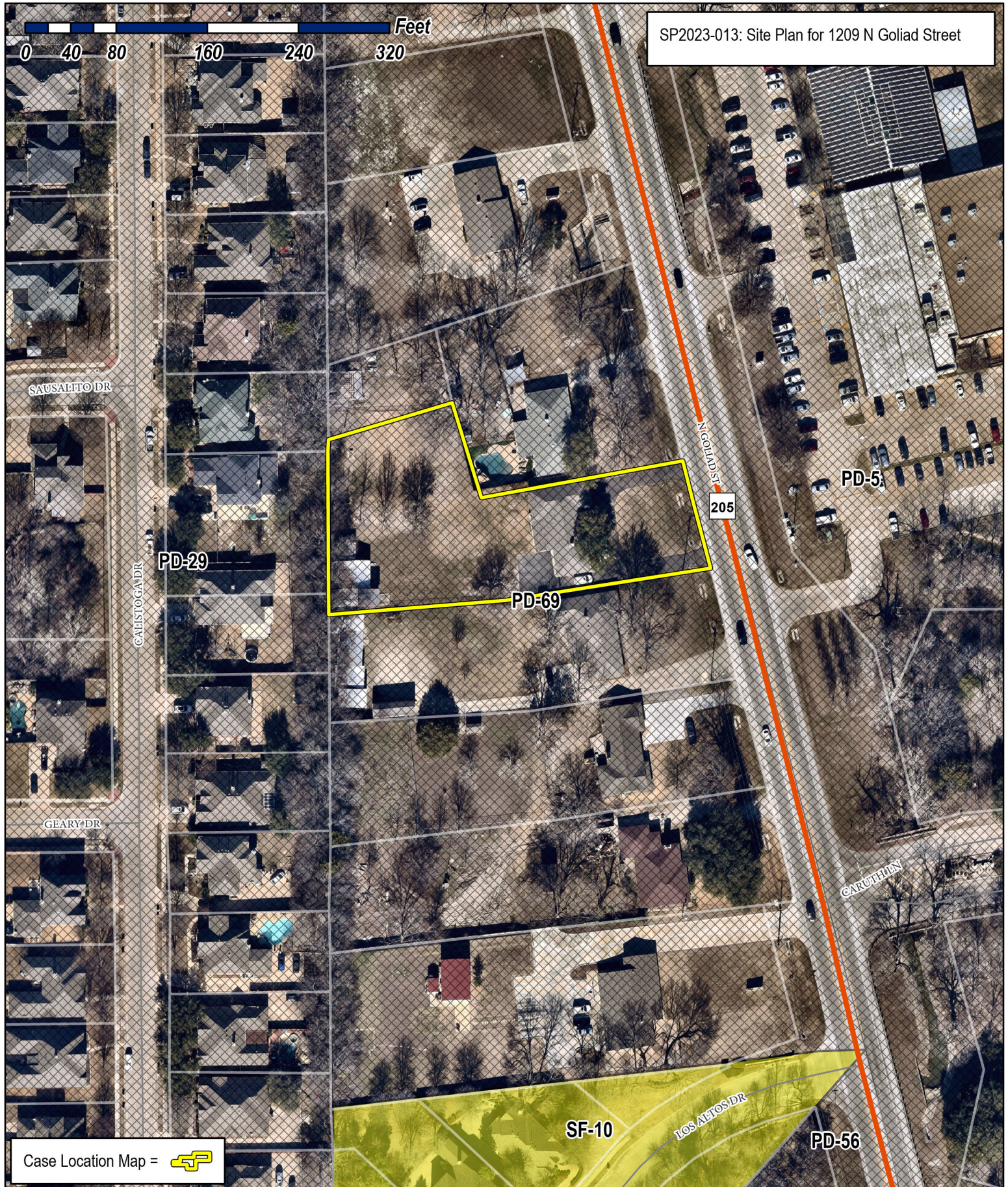
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF APRIL 2023


OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



MY COMMISSION EXPIRES 01-23-2024



Case Location Map = 



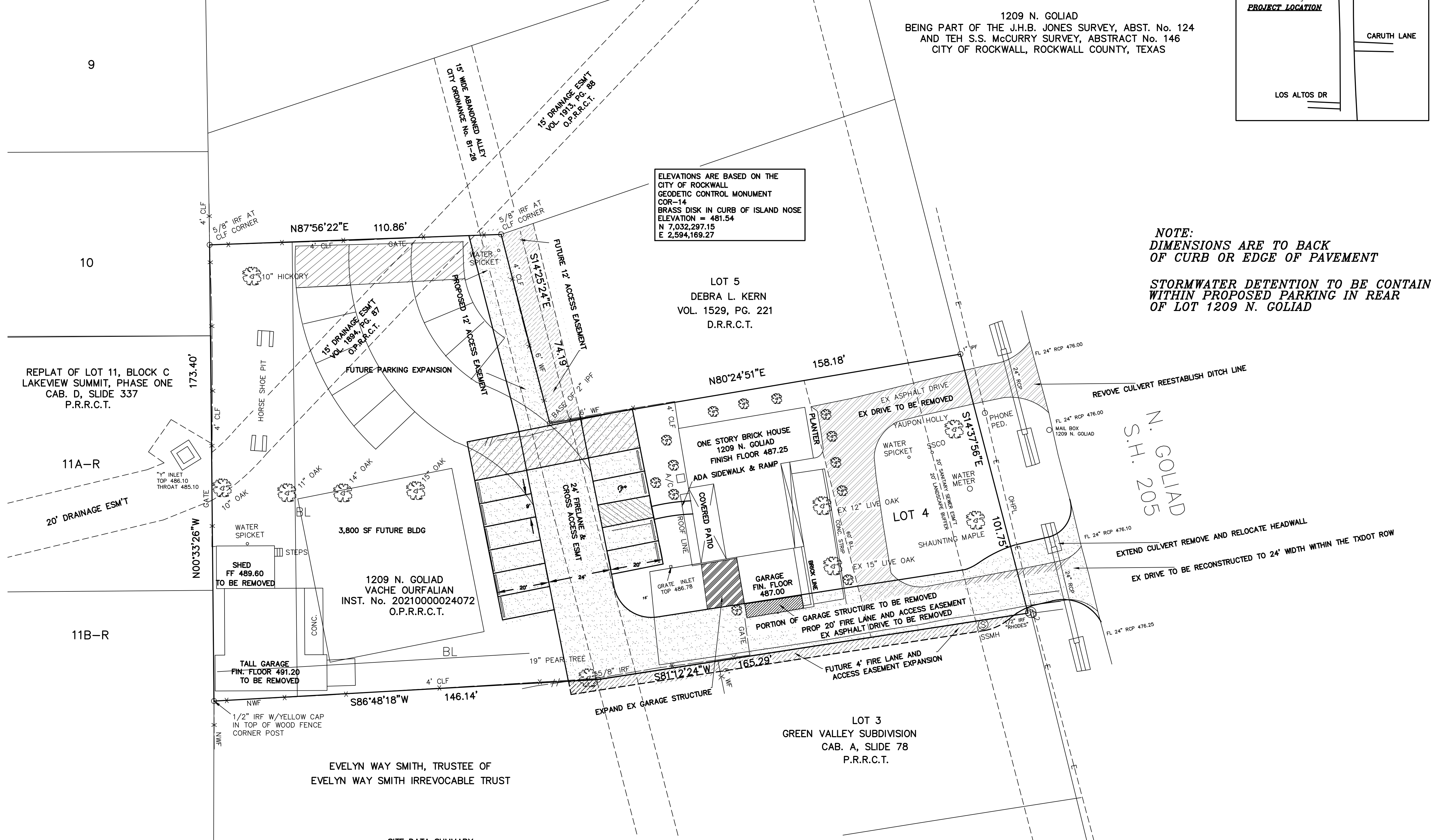
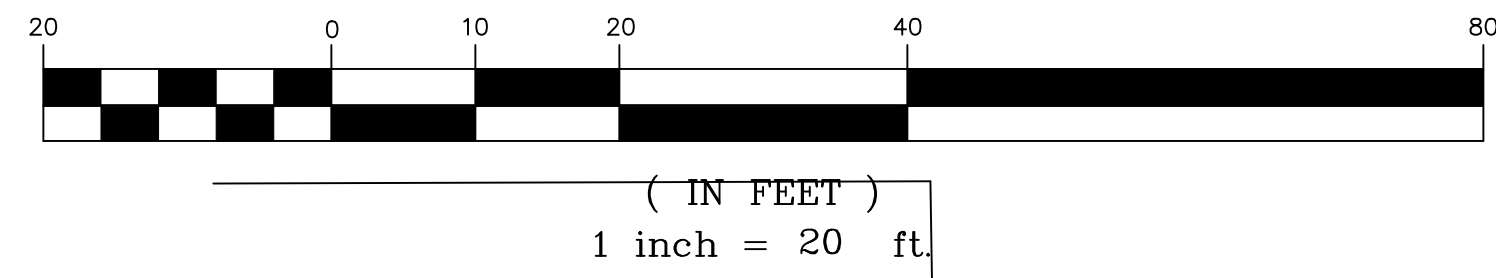
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

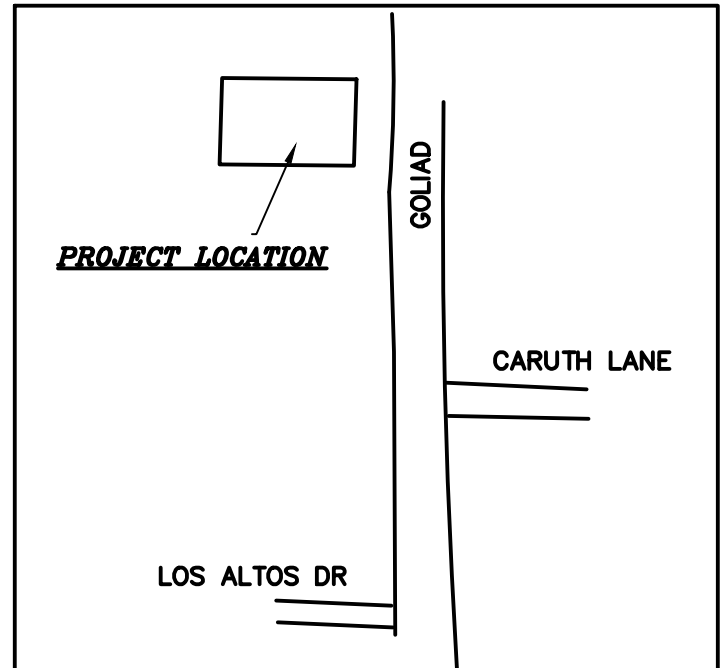


GRAPHIC SCALE



ELEVATIONS ARE BASED ON THE CITY OF ROCKWALL GEODETIC CONTROL MONUMENT COR-14 BRASS DISK IN CURB OF ISLAND NOSE ELEVATION = 481.54 N 7,032,297.15 E 2,594,169.27

1209 N. GOLIAD
BEING PART OF THE J.H.B. JONES SURVEY, ABST. No. 124
AND TEH S.S. McCURRY SURVEY, ABSTRACT No. 146
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



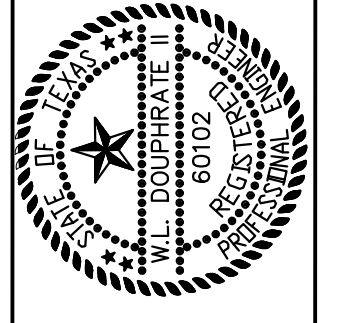
NOTE:
DIMENSIONS ARE TO BACK
OF CURB OR EDGE OF PAVEMENT
STORMWATER DETENTION TO BE CONTAINED
WITHIN PROPOSED PARKING IN REAR
OF LOT 1209 N. GOLIAD

- NOTES:
1. PARKING SPACES ARE 9'x20'
 2. ALL GROUND MOUNTED HVAC TO BE SCREENED WITH 3-5 GAL TEXAS SAGE BUSHES
 3. SCREEN PARKING FRONTAGE WITH A MIXTURE OF 3-7 GAL TEXAS SAGE DESPERADO & 3-5 GAL WAX LEAF LIGUSTRUM BUSHES
 4. LANDSCAPE EACH BLDG FRONTAGE & SIDES WITH 16-5 GAL TEXAS RED YUCCA PLANTS
 5. ALL MUTUAL ACCESS EASEMENTS TO BE PAVED PER CITY OF ROCKWALL STANDARDS OF DESIGN
 6. ALL SHRUBS SHALL BE A 5 GAL MINIMUM IN SIZE.
 7. 2 ACCENT TREES TO BE PLANTED WITHIN THE 20' LANDSCAPE BUFFER ON EACH LOT
A TOTAL OF 1-SHAUNTING MAPLE & 1- YAUPON HOLLY

SITE DATA SUMMARY:
NAME OF FINAL PLAT: GREEN VALLEY SUBD LOT 4
ZONING: RO (RESIDENTIAL OFFICE DISTRICT)
PROPOSED USE: BUSINESS OFFICE
EXIST BUILDING SQUARE FOOTAGE: 1209 GOLIAD-2324 SF
PROPOSED BUILDING EXPANSION SQUARE FOOTAGE NONE
TOTAL LOT AREA : 1209 N GOLIAD 21,780 SF = 0.88 ACRES
BUILDING HEIGHT: 28 FT
LOT BLDG COVERAGE: 1209 GOLIAD 10.7%
PARKING SPACES REQUIRED 1209: 1 SPACE/300 SF = 8 SPACES
HANDICAP PARKING REQUIRED: 1 EA
TOTAL PARKING SPACES PROVIDED: 1209 GOLIAD 10 SPACES
HANDICAP PARKING PROVIDED: 1EA
INTERIOR LANDSCAPING REQUIRED: 20%
INTERIOR LANDSCAPING PROVIDED: 20% 7,000 SF
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE (BLDGS + PARKING/FIRE LANE) = 10,769 SF

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, _____
WITNESS OUR HANDS, THIS _____ DAY OF _____
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

OWNER
ALKAIOS TRANSPORTATION
1209 N. GOLIAD ST.
ROCKWALL, TX 75087
469-424-3234



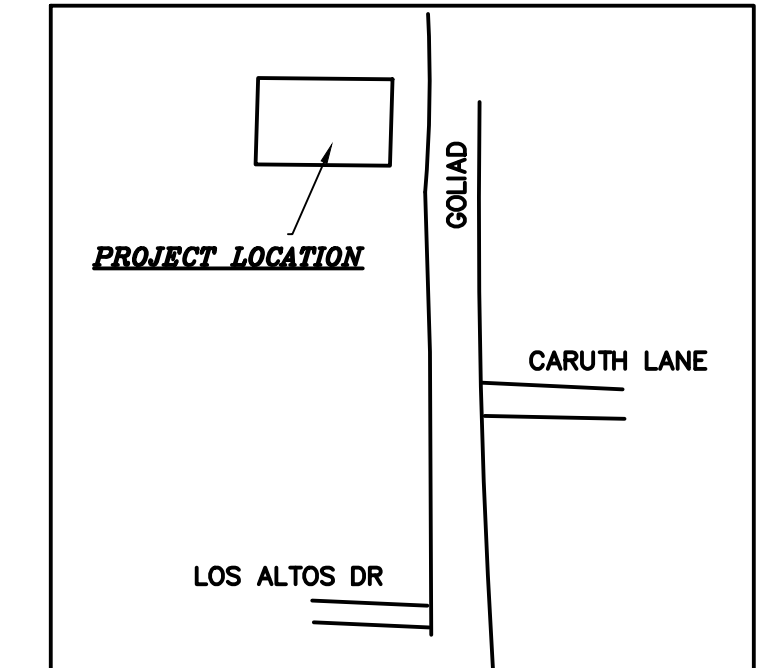
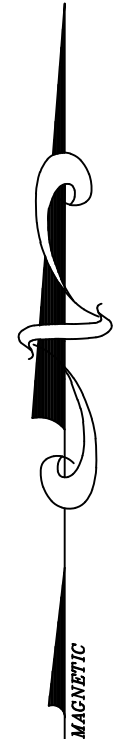
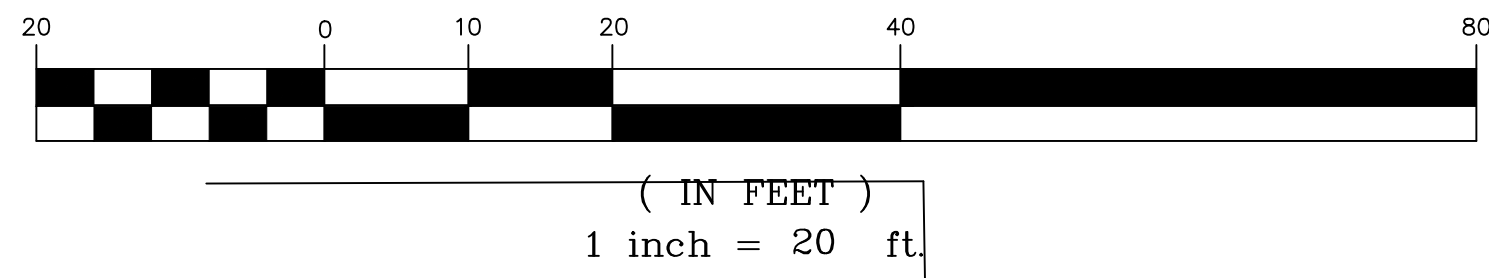
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY THE STATE OF TEXAS P.E. NO. 60102 F-1564 DATE: MARCH 23, 2023

DOUPBRATE & ASSOCIATES, INC.
ENGINEERING PROJECT MANAGEMENT SURVEYING
22335 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

SITE & LANDSCAPING PLAN
ALKAIOS TRANSPORTATION
1209 N. GOLIAD STREET ROCKWALL, TEXAS 75087
CITY OF ROCKWALL, TEXAS
ROCKWALL COUNTY, TEXAS

REVISION	W.L.D.
CHECKED	W.L.D.
DRAWN	W.L.D.
SCALE	1"=20' H 1"=40' V
DATE	MAR 23, 2023
PROJECT	23012 SITE PL
	10

GRAPHIC SCALE



1209 N. GOLIAD
BEING PART OF THE J.H.B. JONES SURVEY, ABST. No. 124
AND TEH S.S. McCURRY SURVEY, ABSTRACT No. 146
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

ELEVATIONS ARE BASED ON THE
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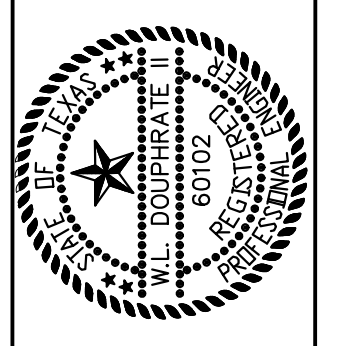
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I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN
FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED
BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL
ON THE _____ DAY OF _____
WITNESS OUR HANDS, THIS _____ DAY OF _____
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

OWNER
ALKAIOS TRANSPORTATION
1209 N. GOLIAD ST.
ROCKWALL, TX 75087
469-424-3234



THE SEAL APPEARING ON THIS
DOCUMENT WAS AUTHORIZED BY
THE BOARD OF ENGINEERING
EXAMINERS OF THE STATE OF TEXAS P.E.
NO. 60102 F-1564
DATE: MARCH 23, 2023

DOUPHRAPE & ASSOCIATES, INC.
ENGINEERING PROJECT MANAGEMENT SURVEYING
22335 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

SITE & LANDSCAPING PLAN
ALKAIOS TRANSPORTATION
1209 N. GOLIAD STREET ROCKWALL, TEXAS 75087
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

REVISION	W.L.D.
CHECKED	W.L.D.
DRAWN	W.L.D.
SCALE	1"=20' H 1"=40' V
DATE	MAR 23, 2023
PROJECT	23012 SITE PL
	10











PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/20/2023

PROJECT NUMBER: SP2023-014
PROJECT NAME: Amended Site Plan for 108 St. Marys
SITE ADDRESS/LOCATIONS: 108 ST MARYS ST

CASE CAPTION: Discuss and consider a request by Ashley Egan for the approval of an Amended Site Plan for an office building on a 0.5090-acre tract of land identified Block 80 B of the B. F. Boydston Survey, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	04/19/2023	Approved w/ Comments

04/19/2023: SP2023-014; Amended Site Plan for 108 St. Mary's Street

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Ashley Egan for the approval of an Amended Site Plan for an office building on a 0.5090-acre tract of land identified Block 80 B of the B. F. Boydston Survey, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (SP2023-014) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Residential Office (RO) District Standards, and the Development Standards of Article 05, that are applicable to the subject property.

M.5 Site Plan:

1. The site will need to be platted after site plan approval to establish new easements.
2. Please check Vicinity map. The subject property should be located on the south side of St. Mary's Street not the north side. (Subsection 03.04.A, of Article 11, of the UDC)

M.6 Landscape Plan:

1. One (1) canopy tree and one (1) accent tree is required in the landscape buffer along St. Mary's Street. (Subsection 05.01(B), of Article 05, of the UDC)
2. Canopy trees shall be a minimum of four (4) inch caliper. The Landscape plan currently shows a three (3) inch caliper canopy tree in front. (Subsection 07.01, of Article 09, of the UDC)
3. All parking spaces shall be within 80' of a canopy tree. (Subsection 05.03.E, Article 08, UDC)
4. Provide four (4)-inch canopy trees 20' foot on center and 24" shrubs planted on 36" centers along the east side of the property for residential adjacency screening. (Subsection 05.02.B, of Article 08, of the UDC)
5. Delineate a rough boundary of detention area and provide one canopy tree per 750 SF of detention area and one accent tree for every 1,500 SF of detention area. (Subsection 05.03.D, Article 08, UDC)

6. Provide shrub screening around the A/C units on the west side of the property. (Subsection 01.05.C, of Article 05, of the UDC)
7. Indicate the type and size of every existing and proposed landscape items. (Subsection 05.03.B, of Article 08, of the UDC)
8. The landscape plan provided does not provide indication of trees being removed. Please provide indication of which trees are being removed and the tree mitigation required. (Section 5, of Article 09, of the UDC)

I.7 Please note that failure to address all comments provided by staff by 3:00 PM on April 4, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 2, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 9, 2023 Planning & Zoning Meeting.

I.9 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on April 25, 2023.
- 2) Planning & Zoning meeting/public hearing meeting will be held on May 9, 2023.

I.10 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/20/2023	Needs Review

- 04/20/2023: - 10' utility easement to be dedicated
 - Must have a 15x24' turnaround striped and signed as no parking.

The following items are informational for the engineering design process.

- 4% Engineering Inspection Fees
- Impact fees.
- Min 20' utility easements.
- No structures in easements.
- Fire lane easement to be on plat.
- Fire lane to be 24' wide with 20' radii.
- Parking to be 20'x9'
- No dead-end parking, without approved turn around area.
- Driveway spacing must be labeled on Site Plan.
- Must have detention for added impervious area. No vertical walls allowed in detention easement
- No trees within 5' of public utilities.
- Retaining walls 3' and over must be designed by a licensed engineer. All walls to be rock or stone. No smooth concrete walls.
- Must meet all City Engineering Standards.
- Will need fire hydrant installed at corner of Barnes and St. Marys
- Add note: No dumpster will be used.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/19/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/17/2023	Approved w/ Comments

04/17/2023: Note: A fire lane is not required unless an addition/expansion of the existing building is done or a new building is added to the property.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/17/2023	Approved

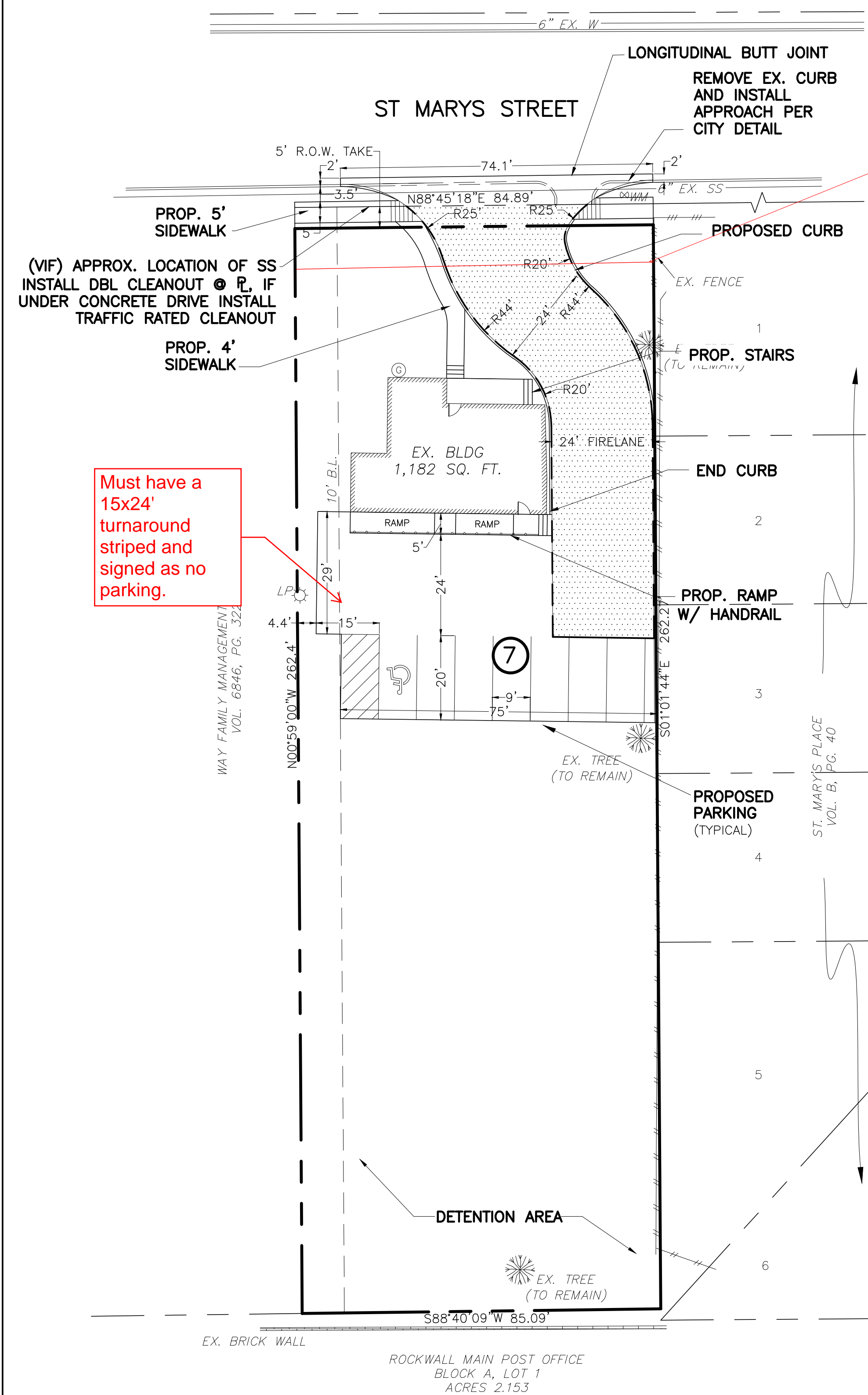
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/17/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/17/2023	Approved

No Comments



SITE DATA:

LOT AREA:
0.51 Acres, 22,278.6 Sq. Ft.
EX. BUILDING AREA:
1,182 sq.ft.
PROPOSED USE:
Office
IMPERVIOUS AREA (including buildings):
7,315 sq.ft.
PARKING:
Required: (1 space/300) = 4
Provided:
Standard = 6
Handicapped = 1
Total Provided = 7
LANDSCAPE AREA:
Required: (10%) 2,228 sq.ft.
Provided: (67%) 14,964 sq.ft.

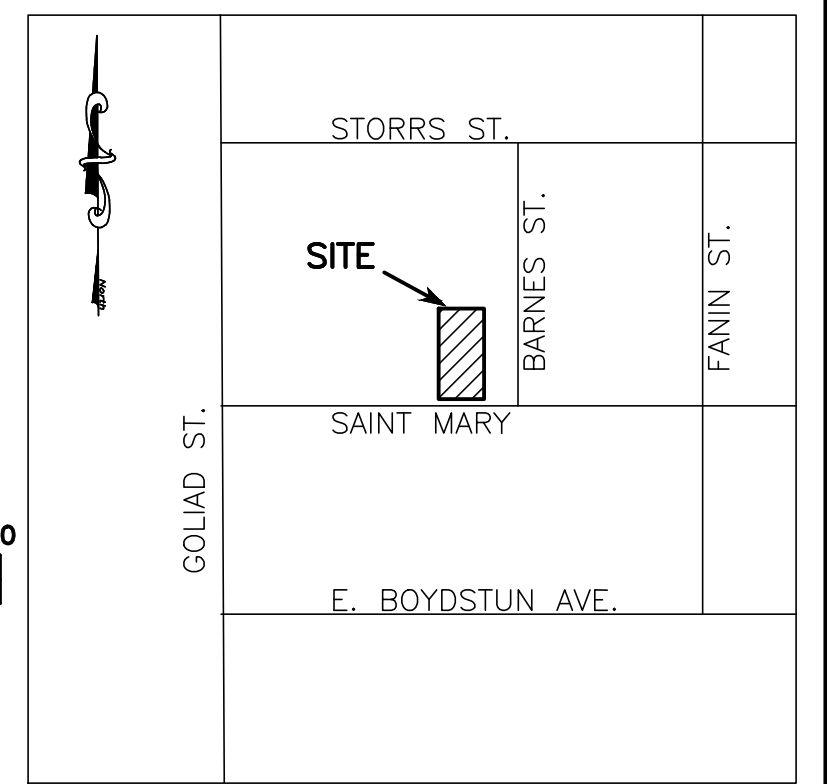
- 4% Engineering Inspection Fees
- Impact fees.
- Min 20' utility easements.
- No structures in easements.
- Fire lane easement to be on plat.
- Fire lane to be 24' wide with 20' radii.
- Parking to be 20'x9'
- No dead-end parking, without approved turn around area.
- Driveway spacing must be labeled on Site Plan.
- Must have detention for added impervious area. No vertical walls allowed in detention easement
- No trees within 5' of public utilities.
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- Must meet all City Engineering Standards.
- Will need fire hydrant installed at corner of Barnes and St. Marys
- Add note: No dumpster will be used.

NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
- 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 5) ALL SPOT GRADE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- 6) ALL LINES UNDER BUILDING MUST BE TESTED WITH AIR OR WATER TO ENSURE THAT SOIL WILL NOT SEEP INTO PIPE AND RODE THE SOIL UNDER THE FOUNDATION.
- 7) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT.
- 8) NO PART OF THE WALL (FOOTINGS, TIE BACKS, ETC) CAN BE OFF-SITE IN EASEMENTS, OR IN RIGHT OF WAY.

PAVING NOTES:

- 1) APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
- 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 4) SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
- 5) NO SAND UNDER PAVING.

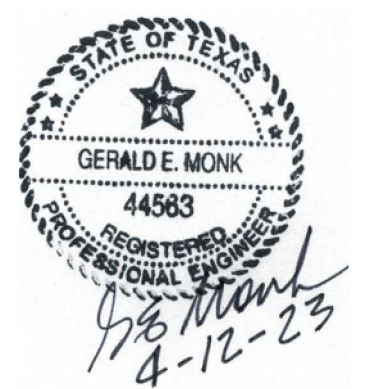


LOCATION MAP (NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- 460 = EXISTING CONTOURS
- 460 = PROPOSED CONTOURS
- tc = PROPOSED SPOT GRADES
- ep = TOP OF CURB
- tw = TOP OF WALL
- bw = BOTTOM OF WALL
- (ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- T = EX. WATER VALVE
- SMH = EXISTING STORM MANHOLE
- GM = EXISTING GAS METER
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- FH = PROPOSED FIRE HYDRANT

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**** NOTICE TO CONTRACTORS ****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY RHODES SURVEYING OF GARLAND, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

CASE #: SP
SITE PLAN
108 SAINT MARY STREET
City of Rockwall, Rockwall County, Texas 75087

OWNER
Reborn Skin & Beauty
6705 Heritage Pkwy, Ste. 104
Rockwall, TX 75087

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
I & O23 by Monk Consulting Engineers, Inc., All Rights Reserved.

date: 4/12/23 scale: 1" = 20' sheet: C101



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

2023-009

NO. THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS *108 Saint Mary St.*

SUBDIVISION *BP Boydston Addition*

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING *R-0*

CURRENT USE *vacant*

PROPOSED ZONING *R-0*

PROPOSED USE *medical office*

ACREAGE *0.51*

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER *Ashley Egan*

APPLICANT *same*

CONTACT PERSON *Justine Jones*

CONTACT PERSON

ADDRESS *109 Saint Mary St.*

ADDRESS

CITY, STATE & ZIP *Rockwall, TX 75087*

CITY, STATE & ZIP

PHONE *(509) 630-1392*

PHONE

E-MAIL *justine@rebornskinandbeauty.com*

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

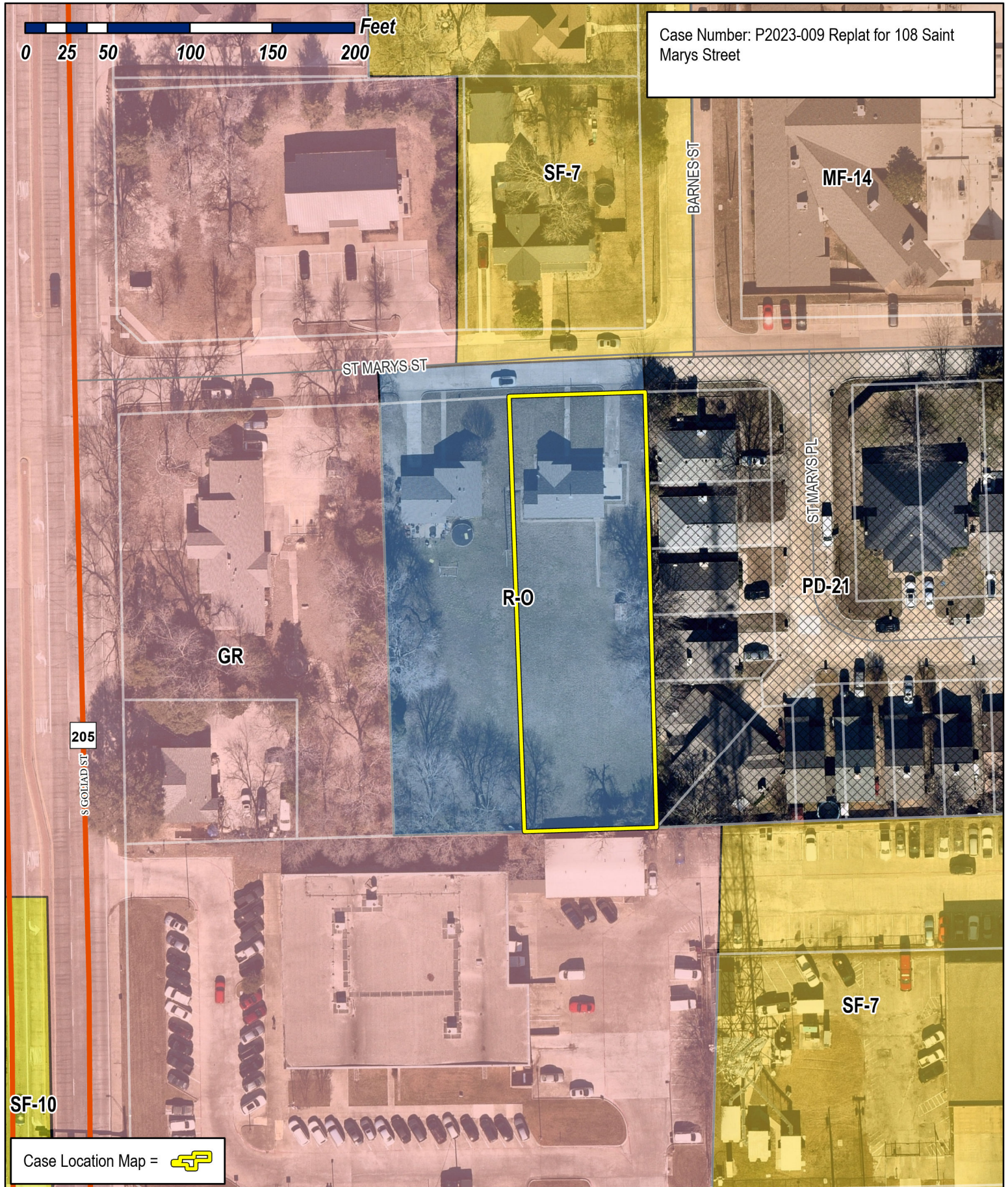


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES



Case Number: P2023-009 Replat for 108 Saint Marys Street



Case Location Map =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Justine Jones & Ashley Egan
109 Saint Mary St.
Rockwall, TX 75087
justine@rebornskinandbeauty.com

April 5, 2023

Ryan Miller
Director of Planning & Zoning
City of Rockwall
385 S. Goliad St.
Rockwall, TX 75087

Dear Ryan, et al.

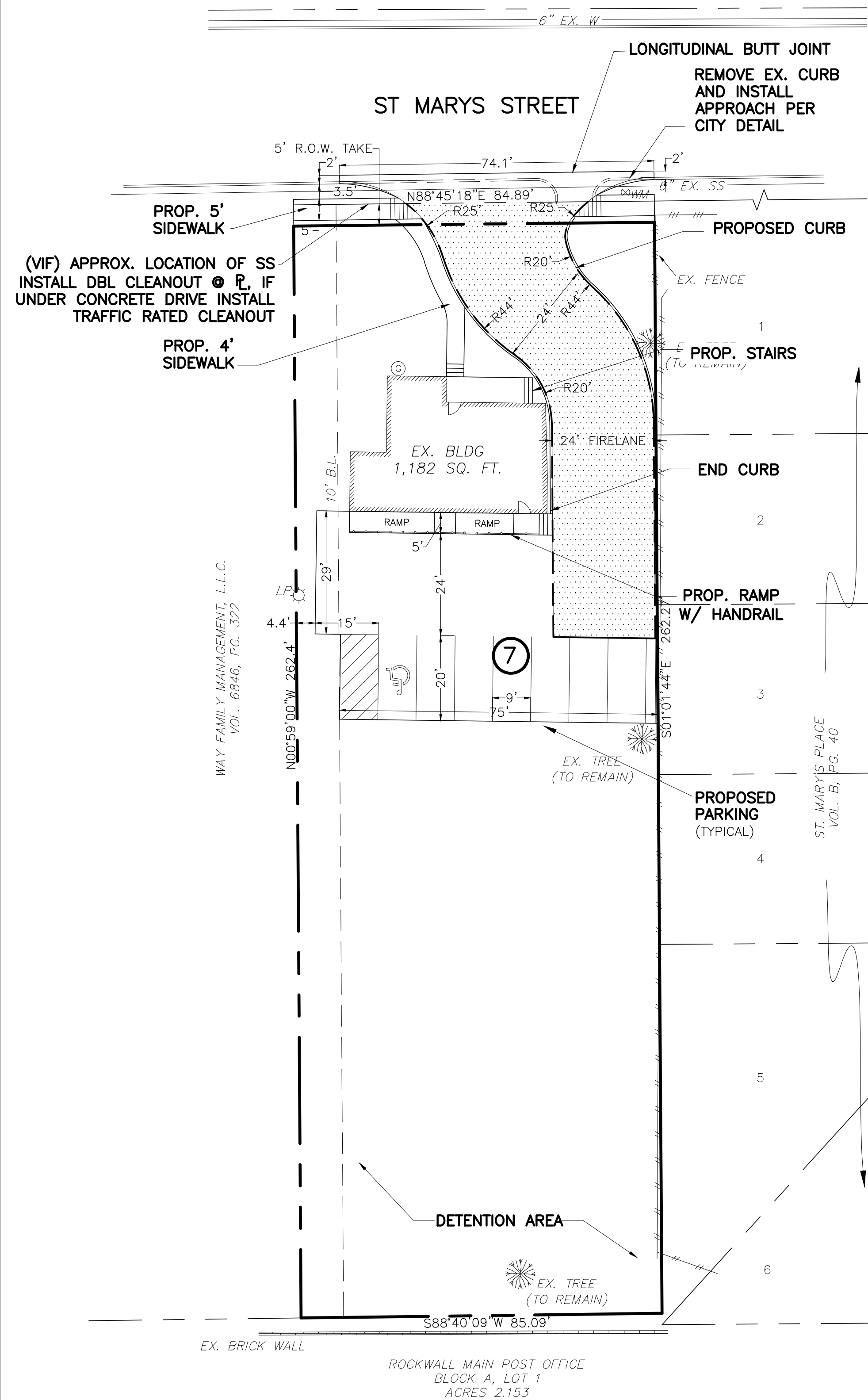
This letter is intended to supplement our Developmental Application for the lot and plat at 108 Saint Mary St. in Rockwall, TX. Our application is for an Amended Plat.

We purchased this building and lot with the intention of converting the space into a medical office where we will provide treatments, counseling, and coaching to clients who seek a variety of services that are deemed medical by the State of Texas. We will not be using anesthesia for any treatments. Some treatments include injectables and skin treatments. We will not be offering traditional salon-type or manicurists/nail treatments.

We are hopeful that the approval to redesign the lot will bring the neighborhood, surrounding businesses, and neighbors a fresh view. The current structure and lot are unfinished and have been for almost three years. As is, the property is an eye sore. We are invested in our community and neighborhood and are excited to move forward with this project.

Respectfully,

Justine Jones & Ashley Egan



SITE DATA:

LOT AREA:
0.51 Acres, 22,278.6 Sq. Ft.
EX. BUILDING AREA:
1,182 sq.ft.
PROPOSED USE:
Office
IMPERVIOUS AREA (including buildings):
7,315 sq.ft.
PARKING:
Required: (1 space/300) = 4
Provided:
Standard = 6
Handicapped = 1
Total Provided = 7
LANDSCAPE AREA:
Required: (10%) 2,228 sq.ft.
Provided: (67%) 14,964 sq.ft.

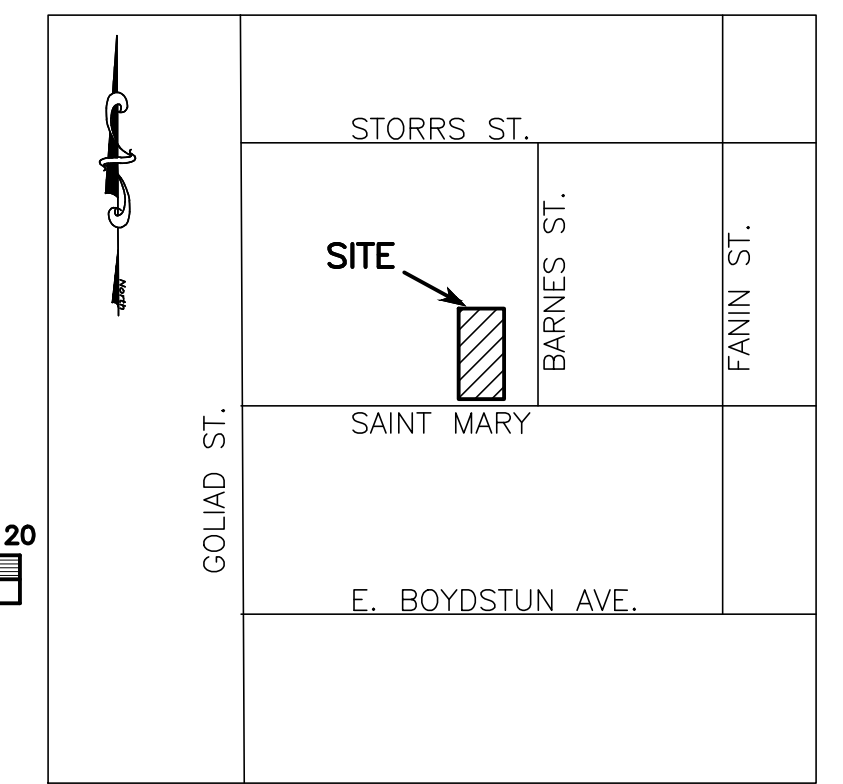
NOTES:

- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
- 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
- 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 5) ALL SPOT GRADE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- 6) ALL LINES UNDER BUILDING MUST BE TESTED WITH AIR OR WATER TO ENSURE THAT SOIL WILL NOT SEEP INTO PIPE AND RUDE THE SOIL UNDER THE FOUNDATION.
- 7) NO PERMANENT STRUCTURES (INCLUDING LIGHT POLES AND INLETS) MAY BE PLACED WITHIN A PUBLIC UTILITY EASEMENT.
- 8) NO PART OF THE WALL (FOOTINGS, TIE BACKS, ETC) CAN BE OFF-SITE IN EASEMENTS, OR IN RIGHT OF WAY.

PAVING NOTES:

- 1) APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
- 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- 4) SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
- 5) NO SAND UNDER PAVING.

!!! CAUTION !!!
CALL 811 TO LOCATE
UNDERGROUND LINES
48 HRS PRIOR TO CONSTRUCTION

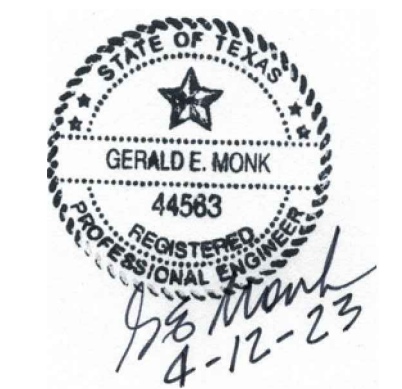


LOCATION MAP
(NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- 460 = EXISTING CONTOURS
- 460 = PROPOSED CONTOURS
- x 463.00 TC or x 462.50 = PROPOSED SPOT GRADES
tc = TOP OF CURB
ep = EDGE OF PAVEMENT
tw = TOP OF WALL
bw = BOTTOM OF WALL
(ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- T = EX. WATER VALVE
- ⊙ = EXISTING STORM MANHOLE
- ⊙ = EXISTING GAS METER
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- FH = PROPOSED FIRE HYDRANT

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

**** NOTICE TO CONTRACTORS ****

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY RHODES SURVEYING OF GARLAND, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

**CASE #: SP
SITE PLAN**

108 SAINT MARY STREET

City of Rockwall, Rockwall County, Texas 75087

owner
Reborn Skin & Beauty
6705 Heritage Pkwy, Ste. 104
Rockwall, TX 75087

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG NO.: F-2567
I & O23 by Monk Consulting Engineers, Inc., All Rights Reserved.
date: 4/12/23 scale: 1" = 20' sheet: C101

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/20/2023

PROJECT NUMBER: SP2023-015
PROJECT NAME: Site Plan for The Finch
SITE ADDRESS/LOCATIONS: 2610 SUNSET RIDGE DR

CASE CAPTION: Discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects, Inc. on behalf of Dan Bobst of HH Retail Center, LP for the approval of a Site Plan for a restaurant on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Subdistrict of Planned Development District 32 (PD-32), located within the IH-30 Overlay (IH-30 OV) District, addressed as 2610 Sunset Ridge Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	04/19/2023	Approved w/ Comments

04/19/2023: SP2023-015; Site Plan for 2610 Sunset Ridge Drive

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Jimmy Strohmeier of Strohmeier Architects, Inc. on behalf of Dan Bobst of HH Retail Center, LP for the approval of a Site Plan for a restaurant on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Subdistrict of Planned Development District 32 (PD-32), located within the IH-30 Overlay (IH-30 OV) District, addressed as 2610 Sunset Ridge Drive.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

I.3 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.4 For reference, include the case number (SP2023-015) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02. D, Article 11, of the UDC)

M.5 Site Plan

(1) Extend the sidewalk along Sunset Ridge Drive up to the right-of-way for IH-30.

(2) Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings berms, or walls matching the main structure. (Subsection 01.05.C, Article 05, of the UDC) Please indicate on your site plan if there are any pad mounted utility equipment. Utility equipment will be subject to screening if found later at engineering or building permit.

M.6 Photometric Plan

(1) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. (Subsection 3.03.C, of Article 07, of the UDC)

(2) Please provide lighting cut sheets that indicate the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. (Subsection 03.03.A, of Article 07, of the UDC)

M.7 Building Elevations

(1) Indicate exterior elevations adjacent to public right-of-way.

- (2) All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction. (Subsection 01.05.C, of Article 05, of the UDC)
- (3) All parapets shall be extended back and finished on the interior side using the same materials as the exterior facing walls. (Subsection 04.01, of Article 05, of the UDC)
- (4) A minimum of 20% natural or quarried stone is required on all building façades in an Overlay District. (Subsection 06.02.C.1(a)(1), of Article 05, of the UDC). This will require a variance from the Planning and Zoning Commission.
- (5) The proposed buildings' facades do not meet the Commercial Building Articulation Standards for wall projections. (Subsection 04.01.C, of Article 05, of the UDC) This will require a variance from the Planning and Zoning Commission.
- (6) All structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. (Subsection 06.02.C.2, of Article 05, of the UDC) This will require a variance from the Planning and Zoning Commission.
- (7) All buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. (Subsection 06.02.5, of Article 05, of the UDC and Planned Development District 32 [Ordinance 19-25]). This will require a variance from the Planning and Zoning Commission. For compensatory, dress up the South elevation with a couple architectural elements (i.e. an arcade) and varying materials as this elevation will be visible from Sunset Ridge.

M.8 Landscape Plan

- 1) Provide a landscape plan indicating a line of shrubs (24" tall, 36" on center) along IH-30 for an added noise barrier for the patio.
- 2) The four-sided architecture requirement also incorporates the requirement of a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) that shall be planted along perimeter of the subject property to the rear of the building. Staff suggests adding four (4) accent trees along the north side of the property to provide an added noise barrier for the patio.
- 3) Provide an exhibit of landscape pots.

M.9 Based on the materials submitted staff has identified the following exceptions and variances for this project:

- (1) Four-sided Architecture. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building." In this case, the proposed building does not meet the articulation standards for all four (4) facades and there is not an additional row of trees proposed at the back of the property.
- (2) Roof Design Standards. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. Those structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides. Standing seam metal roofs shall be constructed of a factory-treated, non-metallic, matte finish to avoid glare. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membrane type roofs that are visible from adjacent public right-of-way shall be prohibited." In this case, the proposed building has a flat roof and therefore does not meet this standard.
- (3) 20% Stone Requirement: According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "(a) minimum of 20% natural or quarried stone is required on all building façades." In this case, the proposed building elevations do not incorporate any stone.

M. 10 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and subsequent two (2) compensatory measures for each exception or variance. (Subsection 09.02, of Article 11, of the UDC). Compensatory measures to consider:

- (1) Additional landscaping.
- (2) Increased building articulation.
- (3) Increased architectural elements.

M.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 2, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 9, 2023 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on April 25, 2023
- (2) Planning & Zoning meeting/public hearing meeting will be held on May 9, 2023.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request. Please also note the Architecture Review Board will review the building elevations for this site plan an hour before the scheduled Planning and Zoning meetings (at 5:00 PM), it is highly encouraged that your project architect attends this meeting.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/20/2023	Approved

04/20/2023: - New construction to meet the utility, drainage, and grading requirements as constructed with the Harbor Heights Restaurant and Retail as-built plans. Please see as-built drawings attached.

The following items are informational for the design process.

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.
- Dumpsters must have an oil/water separator installed.

Water and Wastewater Items:

- Water and fire sprinkler line must be 10' apart.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/19/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/17/2023	Approved w/ Comments

04/17/2023: The FDC location shall be reviewed. The FDC location shall allow hose lines to be readily and conveniently attached without interference from nearby objects, including retaining walls, fences, posts, or other obstructions. The FDC shall be 1.5–4 ft above the grade of the fire lane.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/18/2023	Approved w/ Comments

04/18/2023: Address will be 2610 Sunset Ridge, Rockwall, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/17/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	04/17/2023	Approved w/ Comments

04/17/2023: Please provide landscape plan for the new addition only



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2600 SUNSET RIDGE DRIVE

SUBDIVISION HARBOR DISTRICT ADDITION

LOT 2 BLOCK B

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32

CURRENT USE

VACANT

PROPOSED ZONING PD-32

PROPOSED USE

RESTAURANT

ACREAGE 2.893

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER HH RETAIL CENTER, LP

APPLICANT STROHMEYER ARCHITECTS, INC

CONTACT PERSON DAN BOBST

CONTACT PERSON JIMMY STROHMEYER

ADDRESS 2701 SUNSET RIDGE

ADDRESS 2701 SUNSET RIDGE

SUITE 610

SUITE 601

CITY, STATE & ZIP ROCKWALL, TEXAS 75032

CITY, STATE & ZIP ROCKWALL, TEXAS 75032

PHONE

PHONE 214-497-2057

E-MAIL

E-MAIL jimmy@strohmeierarchitects.com

NOTARY VERIFICATION [REQUIRED]

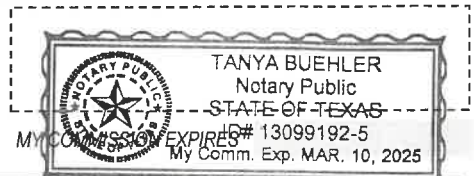
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JIMMY STROHMEYER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 307.86 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF APRIL, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF APRIL, 2023

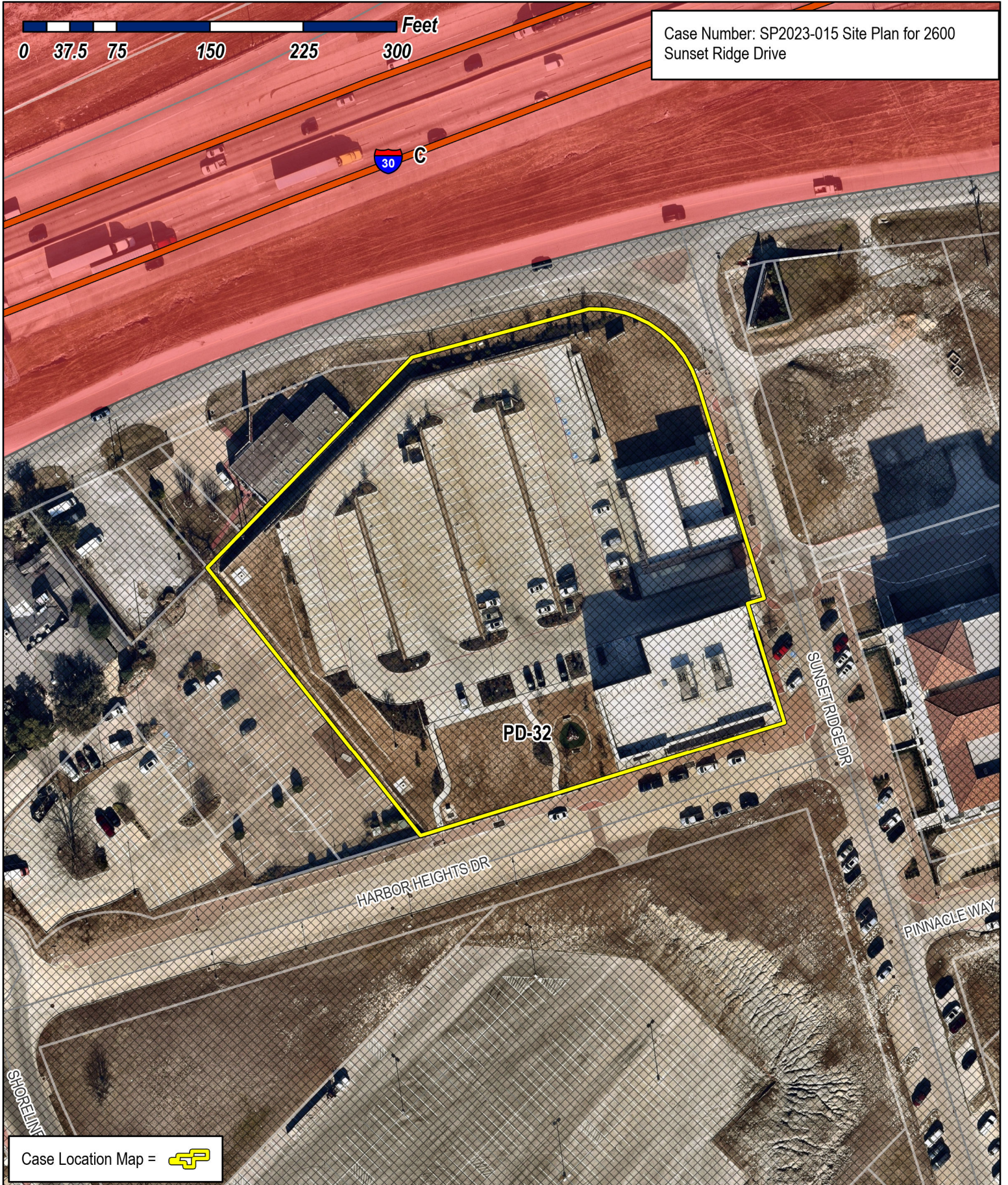
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 37.5 75 150 225 300 Feet

Case Number: SP2023-015 Site Plan for 2600
Sunset Ridge Drive



PD-32

HARBOR HEIGHTS DR

SUNSET RIDGE DR

PINNACLE WAY

SHORELINE

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

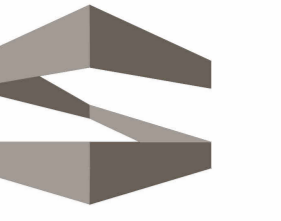
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Service Road
30 SERVICE ROAD

LEGEND

- PLANTING POTS
- ⊗ SHRUB
DWARF YAUPON HOLLY 5 GAL. 16" O.C. MAX. 16" HIGH AT TIME OF PLANTING
DWARF BURFORD HOLLY 5 GAL. 38" O.C. MAX. 30" HIGH AT TIME OF PLANTING
- PATIO TABLES



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 607
ROCKWALL, TEXAS 75032

CIVIL
TNP, INC.
825 WATTERS CREEK BLVD.
SUITE M300
ALLEN, TEXAS 75013

STRUCTURAL
C1S GROUP, INC.
4231 SIGMA RD
DALLAS, TEXAS 75244

JIMMY STROHMEYER, AIA

PRELIMINARY -
NOT FOR
CONSTRUCTION,
PERMITTING, OR
REGULATORY
APPROVAL

**HARBOR
HEIGHTS**

THE FINCH
2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75132

Project Number: 52219
Drawing Date: 4/14/23
Drawn: Author
Checked: Checker
Scale: As indicated

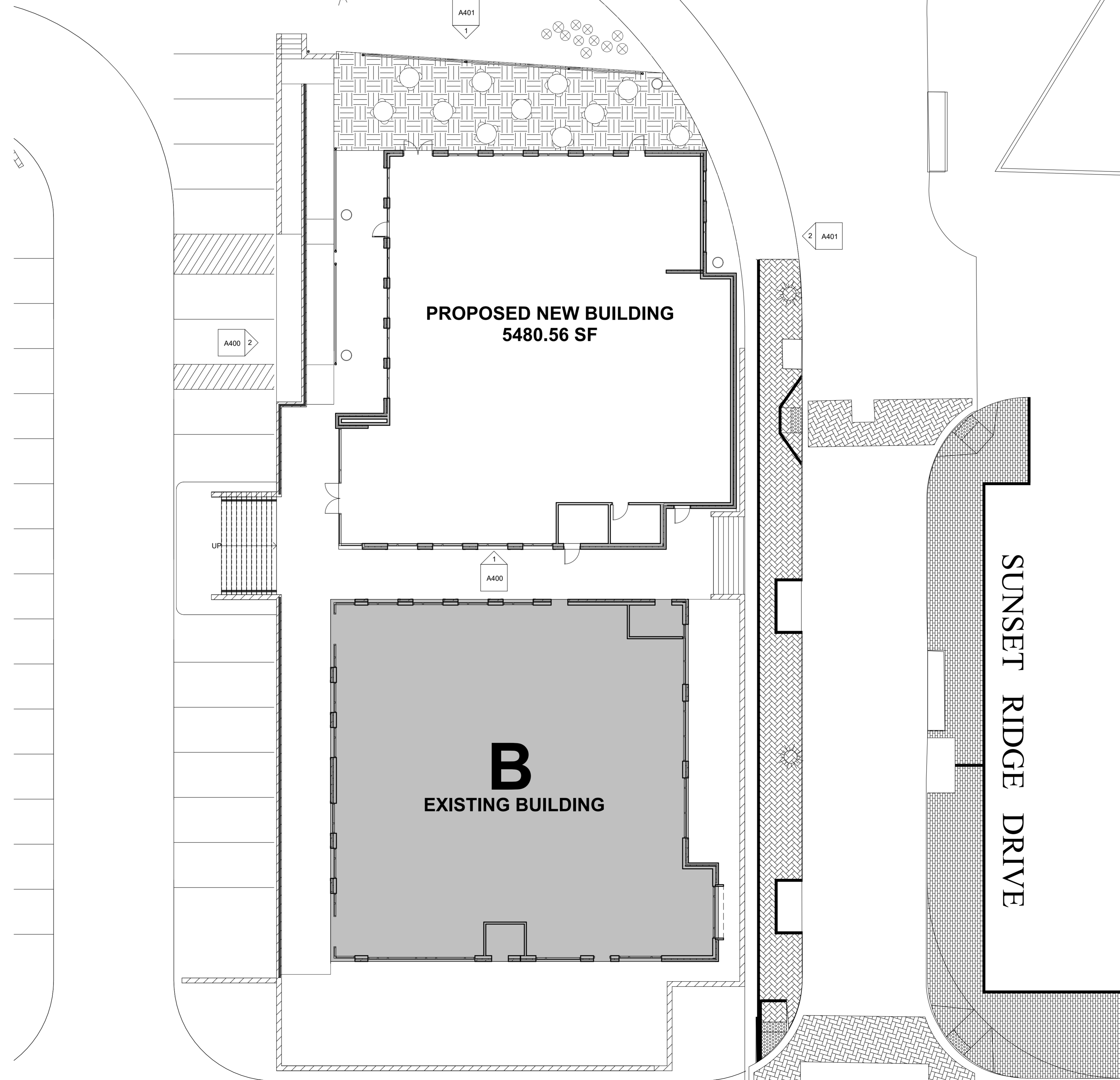
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Revisions:
Revision Date Revision Description

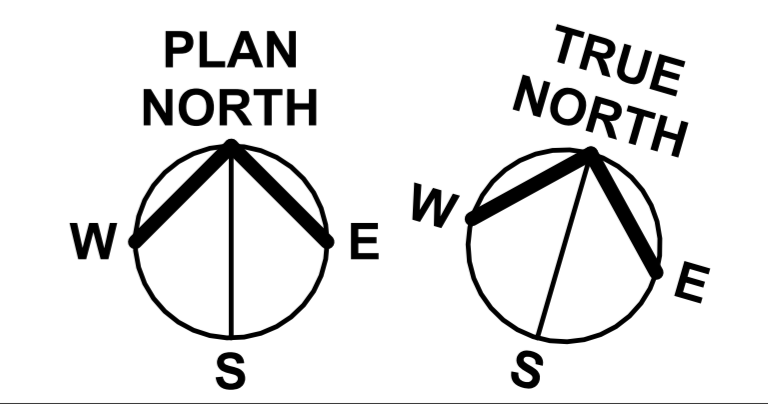
Sheet Title:

**OVERALL SITE
PLAN**

A101 A



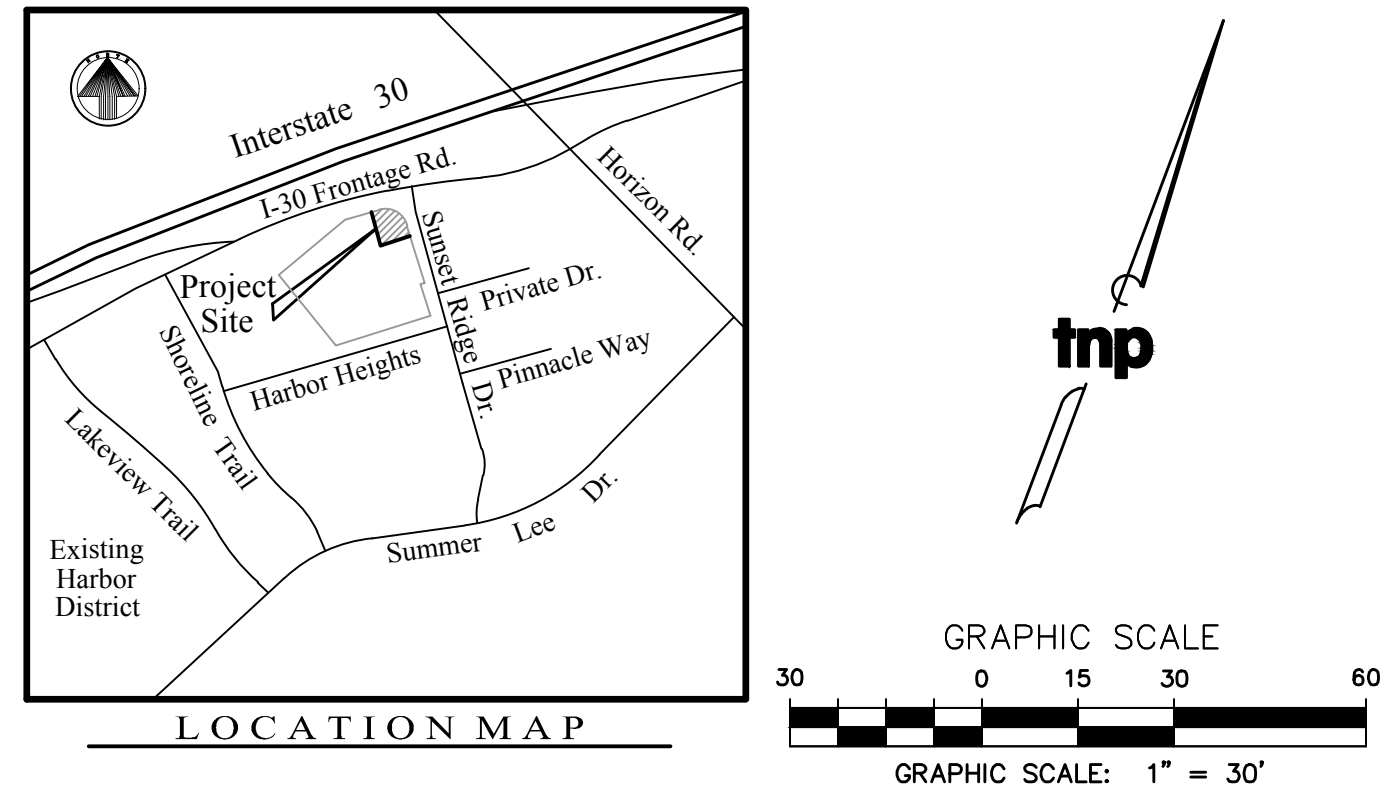
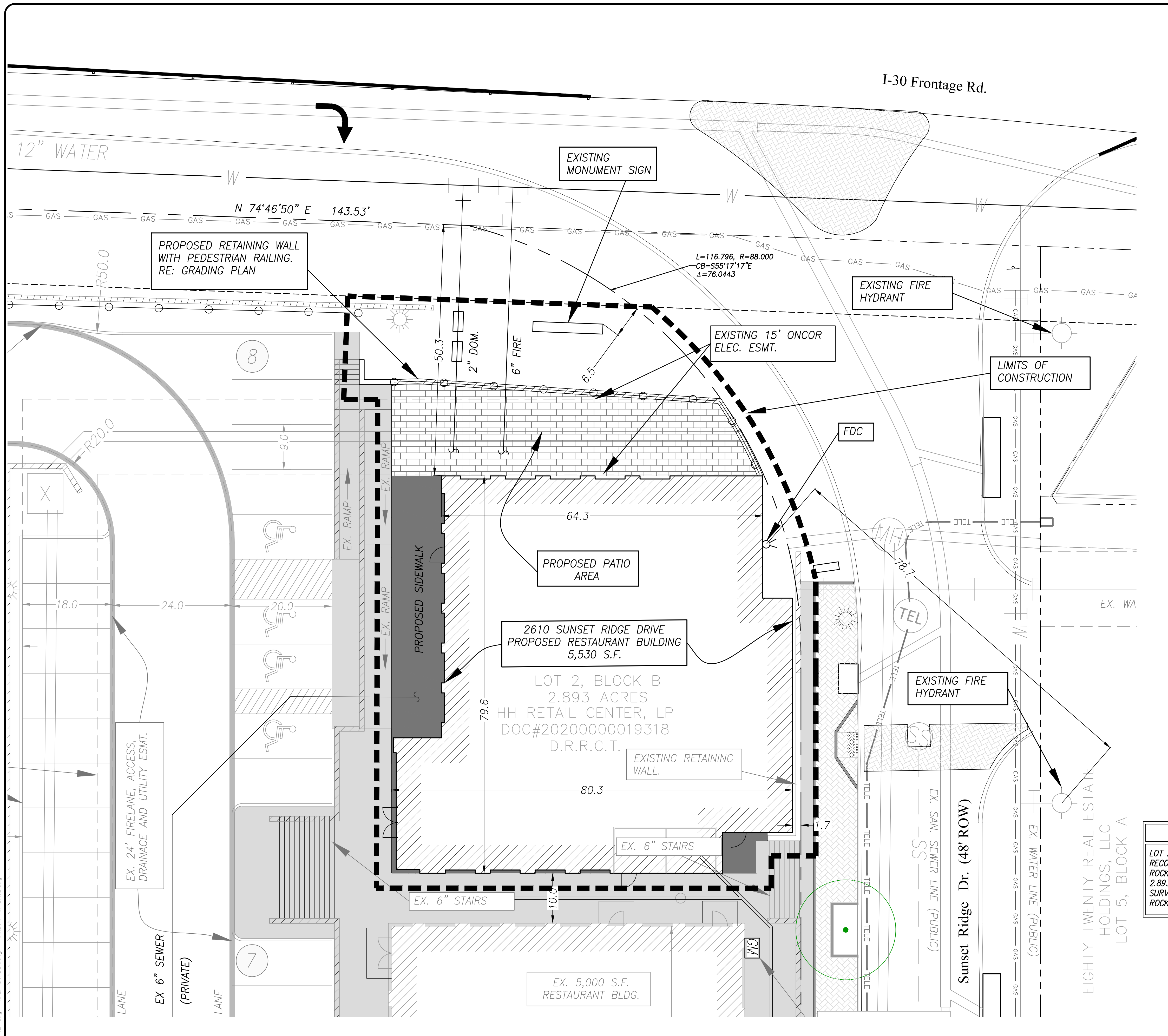
1 OVERALL SITE PLAN
3/32" = 1'-0"



Autodesk Docs://HHRR_FINCH/HHRR_RESTBLDG WITH LINKED OFFICES AND SITE.IVT

4/13/2023 3:02:25 PM

Drawing: C:\Prospects\2023\Strohmeier - Restaurant Plan\CAD\Sheets\04 - SITE PLAN.dwg at Apr 13, 2023 - 8:45pm by cslown
 Layout: SITE PLAN - X SURVEY.dwg - PRE-BORDER.dwg - HARBOR-RR-BASE.dwg



SITE INFORMATION:

LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	RESTAURANT/RETAIL/OFFICE
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	10,530 S.F. RESTAURANT 12,600 S.F. OFFICE 11,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	34,730/126,018=.275 -> 27.5%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	161 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
IMPERVIOUS AREA:	80,954 S.F.
LANDSCAPE AREA REQUIRED:	0 S.F.
LANDSCAPE AREA PROVIDED:	45,064 S.F. (1.035 ACRES)

* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQUIRED
12PM-1PM	37.80	46.40	77	161
4PM-6PM	19.74	41.76	99	161

- SITE NOTES:**
- PRIOR TO BEGINNING STAKING OF BUILDING LOCATION, CONTRACTOR SHALL CONFIRM THE ARCHITECTURAL, STRUCTURAL, AND CIVIL DESIGN PLANS MATCH; NOTIFY DESIGNERS OF ANY DISCREPANCY
 - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
 - DIMENSIONS ARE TO FACE OF CURB AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

LEGEND

	EXISTING BRICK PAVERS		EXISTING AT&T MANHOLE
	PROPOSED CONCRETE SIDEWALK		EXISTING WATER METER
	EXISTING TREE WELL W/ UPLIGHTS		EXISTING ELECTRICAL MANHOLE
	EXISTING SEWER LINE		EXISTING SEWER MANHOLE
	EXISTING WATER LINE		EXISTING POWER POLE
	EXISTING GAS LINE		EXISTING LIGHT POLE
	EXISTING TELEPHONE DUCT BANK		EXISTING FIRE HYDRANT
	EXISTING ELECTRICAL DUCT BANK		

LEGAL DESCRIPTION

LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION RECORDED AS INSTRUMENT NO. 20200000019318 ROCKWALL COUNTY OFFICIAL PLAT RECORDS. BEING 2.893 ACRES SITUATED IN THE M.J. BARKSDALE SURVEY, ABST. NO. 11 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.

OWNER INFORMATION

HH RETAIL CENTER, LP,
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

ENGINEER INFORMATION

CAMERON SLOWN, P.E.
TEAGUE, NALL AND PERKINS, INC.
825 WATTERS CREEK BLVD, SUITE M300
ALLEN, TX 75013

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning and Zoning Commission of the City of Rockwall on the ____ day of _____, 2023.
Witness our hands this ____ day of _____, 2023.

Planning & Zoning Commission, Chairman

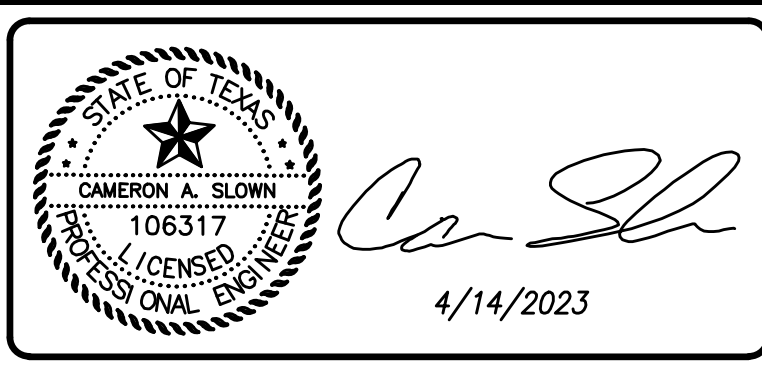
Director of Planning & Zoning

CASE NUMBER: SP2023- NOT FOR CONSTRUCTION

no.	revision	by	date



teague nall and perkins, inc
825 Watters Creek Blvd., Suite M300
Allen, Texas 75013
214.461.9867 ph 214.461.9864 fx
www.tnppinc.com
TBPE: F-230; TBPLS: 10011600, 10011601, 10194381



scale
when bar is 1 inch long
horiz 1"=30'
vert N/A
APR 2023

HH RETAIL CENTER, LP.

ROCKWALL, Texas
Improvements for
2610 SUNSET RIDGE DRIVE - RESTAURANT BUILDING
SITE PLAN

tnp project
OZO20505
sheet
C1.04

MATERIAL CALCULATIONS			MATERIAL LEGEND	
	AREA	%		
NORTH ELEVATION	MASONARY BRICK	1,695 SF	100%	BRICK A - ACME BRICK - GLACIER WHITE
	BRICK	1,661 SF	97.9%	
	STUCCO	34 SF	2.1%	
EAST ELEVATION	MASONARY BRICK	1,755 SF	100%	BRICK B - ACME BRICK - MARBLE GRAY
	BRICK	1,410 SF	80.3%	
	STUCCO	345 SF	19.7%	
SOUTH ELEVATION	MASONARY BRICK	1,749 SF	100%	METAL TRIM - DARK BRONZE
	BRICK	1,612 SF	92.2%	
	STUCCO	137 SF	7.8%	
WEST ELEVATION	MASONARY BRICK	1,726 SF	100%	STUCCO A - SAHARA MAXI - SAGE
	BRICK	1,553 SF	89.9%	
	STUCCO	173 SF	10.1%	

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.
 WITNESS OUR HANDS, this ____ day of _____, 2022.

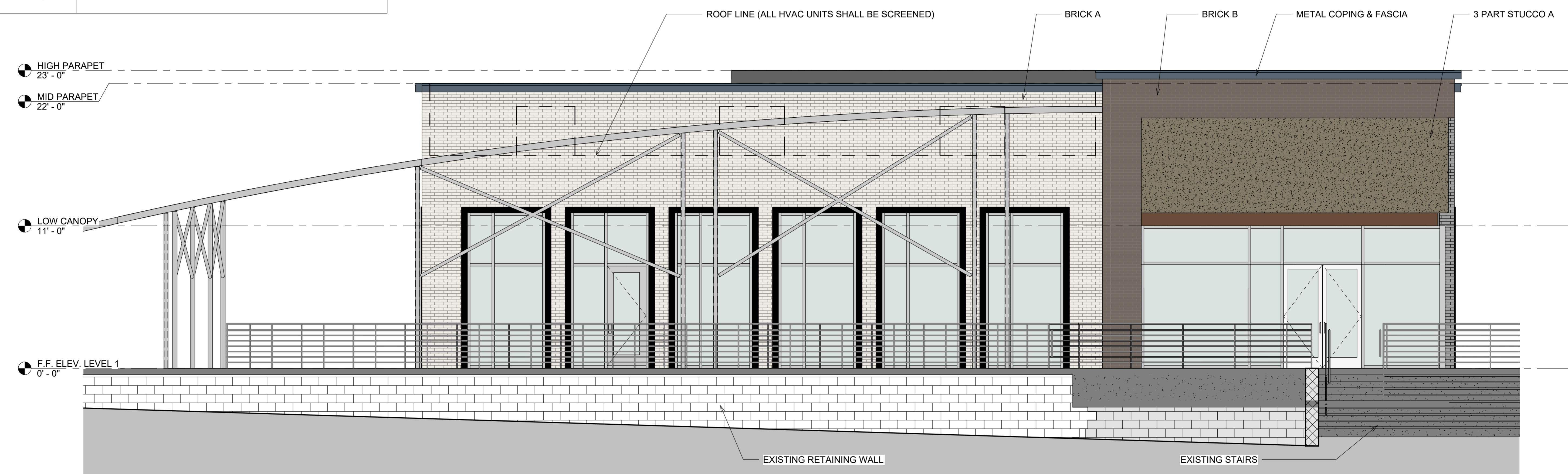
 Planning & Zoning Commission, Chairman _____
 Director of Planning and Zoning

STROHMEYER
 ARCHITECTS INC.

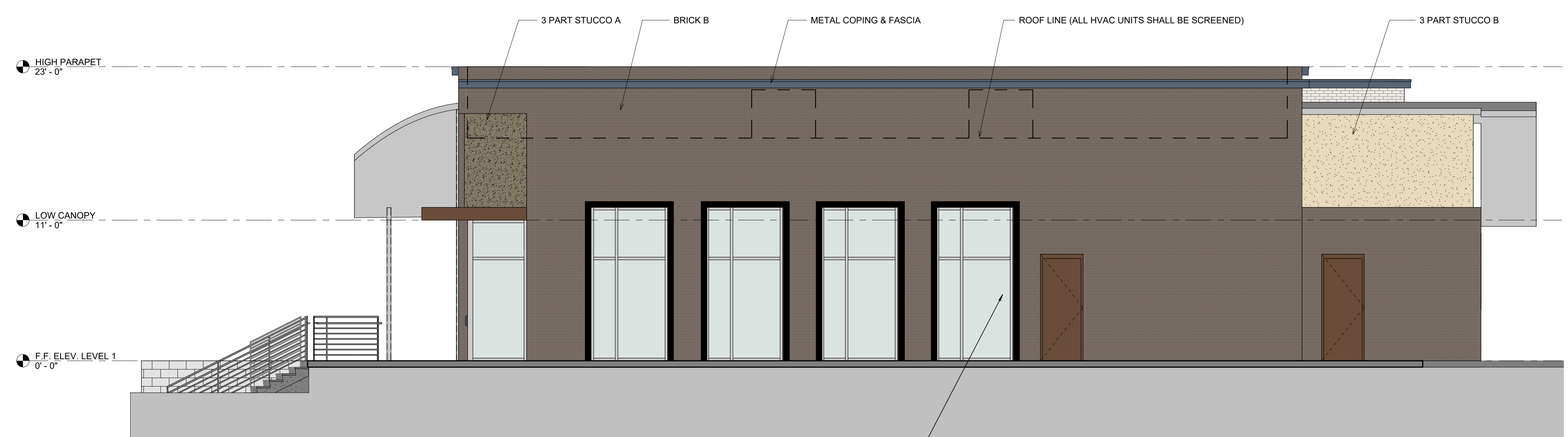
ARCHITECT
 STROHMEYER ARCHITECTS, INC.
 2701 SUNSET RIDGE DR.
 SUITE 607
 ROCKWALL, TEXAS 75032

CIVIL
 TNP, INC.
 825 WATTERS CREEK BLVD.
 SUITE M300
 ALLEN, TEXAS 75013

STRUCTURAL
 C1S GROUP, INC.
 4231 SIGMA RD
 DALLAS, TEXAS 75244



2 BUILDING ELEVATION - WEST
 1/4" = 1'-0"



1 BUILDING ELEVATION - SOUTH
 1/4" = 1'-0"

JIMMY STROHMEYER, AIA
 PRELIMINARY -
 NOT FOR
 CONSTRUCTION,
 PERMITTING, OR
 REGULATORY
 APPROVAL

**HARBOR
 HEIGHTS**

THE FINCH
 2600 SUNSET RIDGE
 DR.
 ROCKWALL, TX 75132

Project Number: 52219
 Drawing Date: 4/14/23
 Drawn: PC
 Checked: JS
 Scale: As indicated

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Revisions:
 # Revision Date Revision Description

Sheet Title:
**EXTERIOR
 ELEVATIONS**

MATERIAL CALCULATIONS			MATERIAL LEGEND	
	AREA	%		
NORTH ELEVATION	MASONARY BRICK	1,695 SF	100%	BRICK A - ACME BRICK - GLACIER WHITE
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	STUCCO	173 SF	10.1%	
				STUCCO B - SAHARA MAXI - GRAY MORTAR

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2022.
 WITNESS OUR HANDS, this ____ day of ____, 2022.

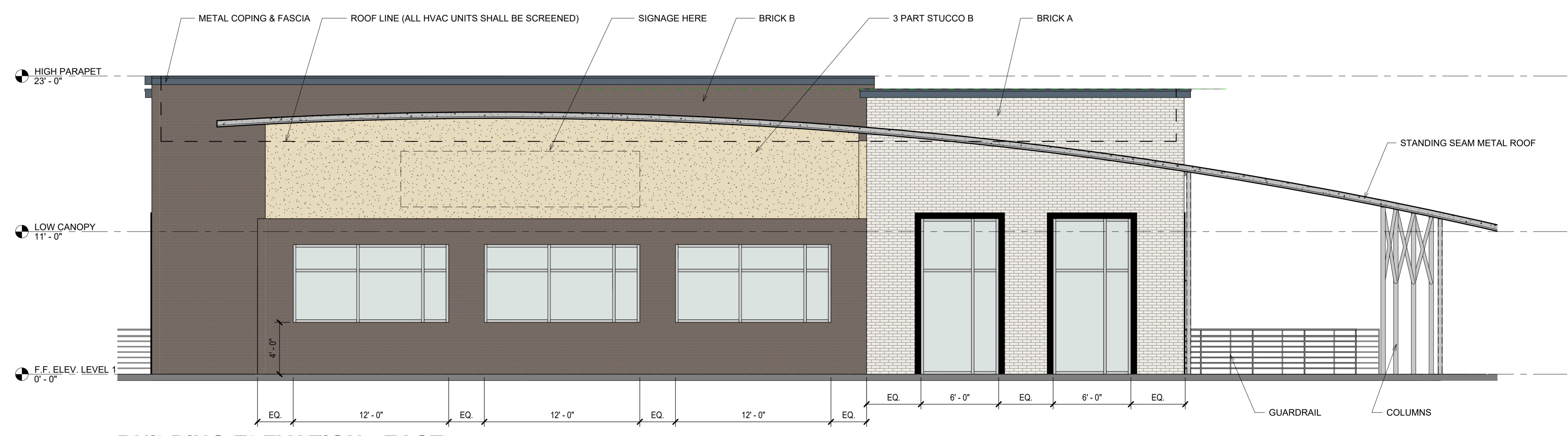
 Planning & Zoning Commission, Chairman Director of Planning and Zoning

STROHMEYER
 ARCHITECTS INC.

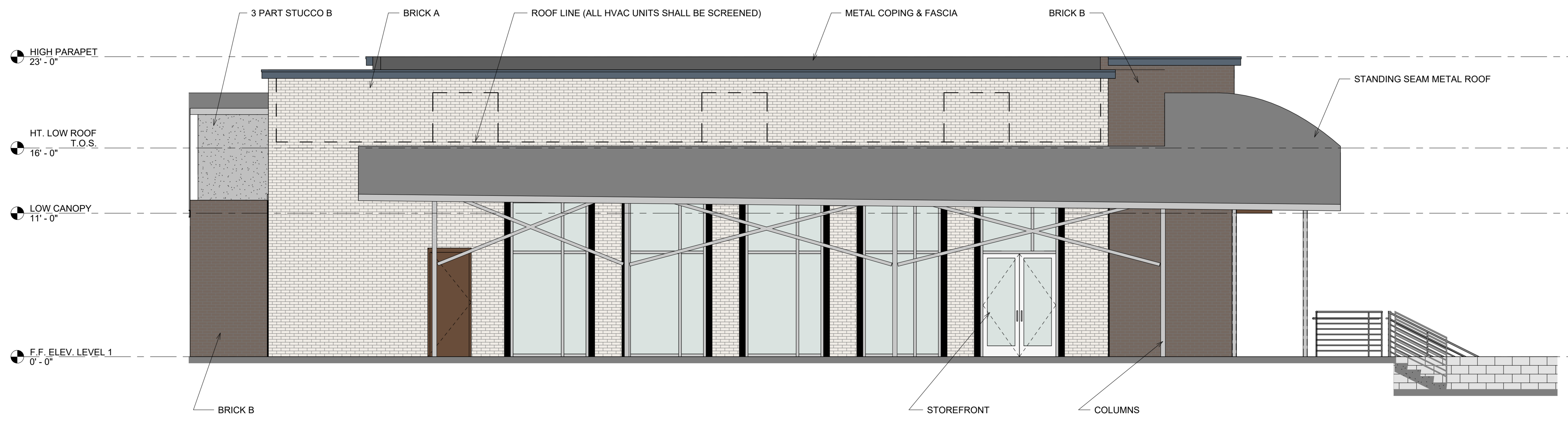
ARCHITECT
 STROHMEYER ARCHITECTS, INC.
 2701 SUNSET RIDGE DR.
 SUITE 607
 ROCKWALL, TEXAS 75032

CIVIL
 TNP, INC.
 825 WATTERS CREEK BLVD.
 SUITE M300
 ALLEN, TEXAS 75013

STRUCTURAL
 C1S GROUP, INC.
 4231 SIGMA RD
 DALLAS, TEXAS 75244



2 BUILDING ELEVATION - EAST
 1/4" = 1'-0"



1 BUILDING ELEVATION - NORTH
 1/4" = 1'-0"

JIMMY STROHMEYER, AIA
 PRELIMINARY -
 NOT FOR
 CONSTRUCTION,
 PERMITTING, OR
 REGULATORY
 APPROVAL

**HARBOR
 HEIGHTS**

THE FINCH
 2600 SUNSET RIDGE
 DR.
 ROCKWALL, TX 75132

Project Number: 52219
 Drawing Date: 4/14/23
 Drawn: Author
 Checked: Checker
 Scale: As indicated

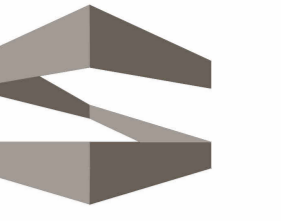
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Revisions:
 # Revision Date Revision Description

Sheet Title:
**EXTERIOR
 ELEVATIONS**

Autodesk Docs://HRRR_FINCH/HRRR_RESTBLDG WITH LINKED OFFICES AND SITE.IVT

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STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 607
ROCKWALL, TEXAS 75032

CIVIL
TNP, INC.
825 WATTERS CREEK BLVD.
SUITE M300
ALLEN, TEXAS 75013

STRUCTURAL
C1S GROUP, INC.
4231 SIGMA RD
DALLAS, TEXAS 75244



JIMMY STROHMEYER, AIA
PRELIMINARY -
NOT FOR
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REGULATORY
APPROVAL

HARBOR HEIGHTS

THE FINCH
2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75132

Project Number: 52219
Drawing Date: 4/14/23
Drawn: Author
Checked: Checker
Scale:

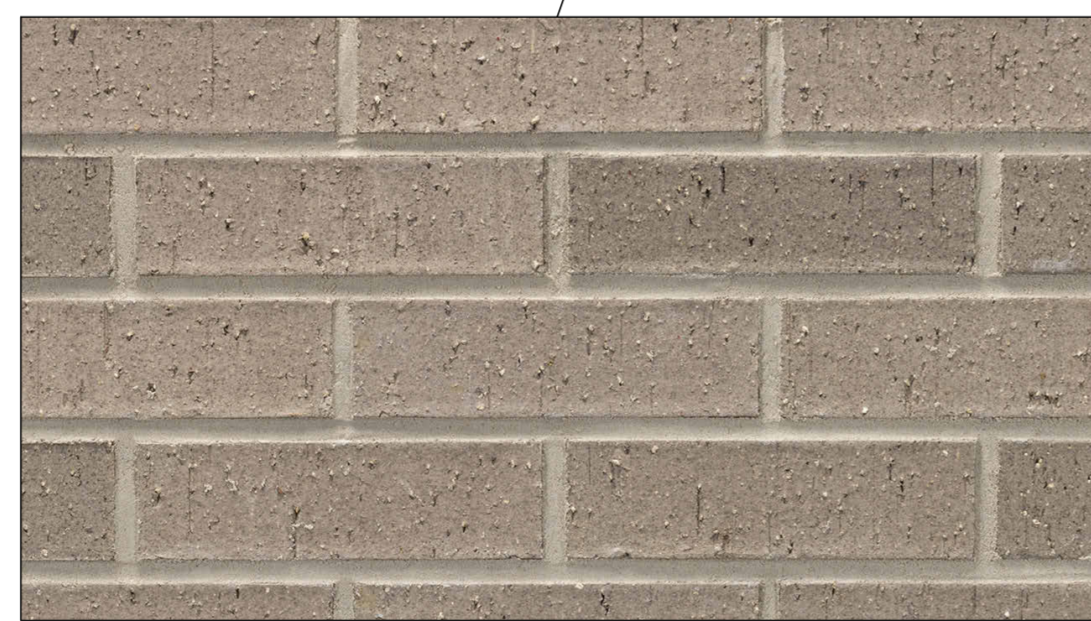
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Revisions:
Revision Date Revision Description

Sheet Title:
COLOR BOARD



**ACME BRICK
GLACIER WHITE**



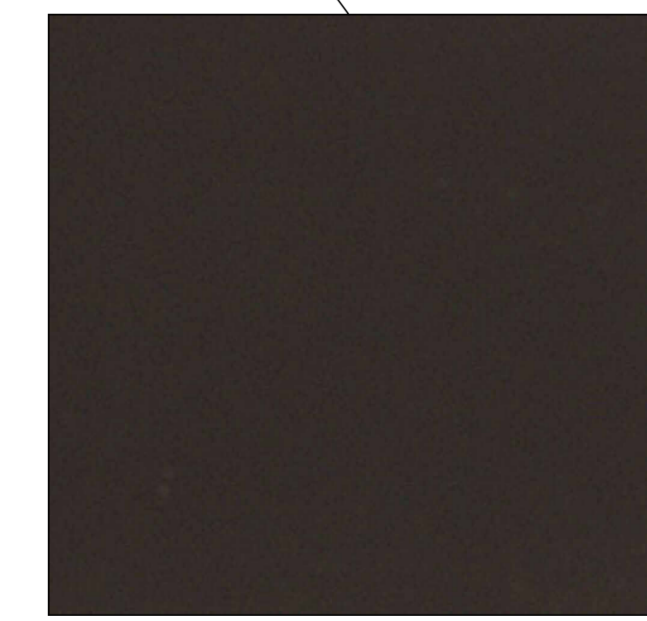
**ACME BRICK
MARBLE GRAY**



**SENERGY
SAHARA MAXI - SAGE**



**SENERGY
SAHARA MAXI - GRAY MORTAR**

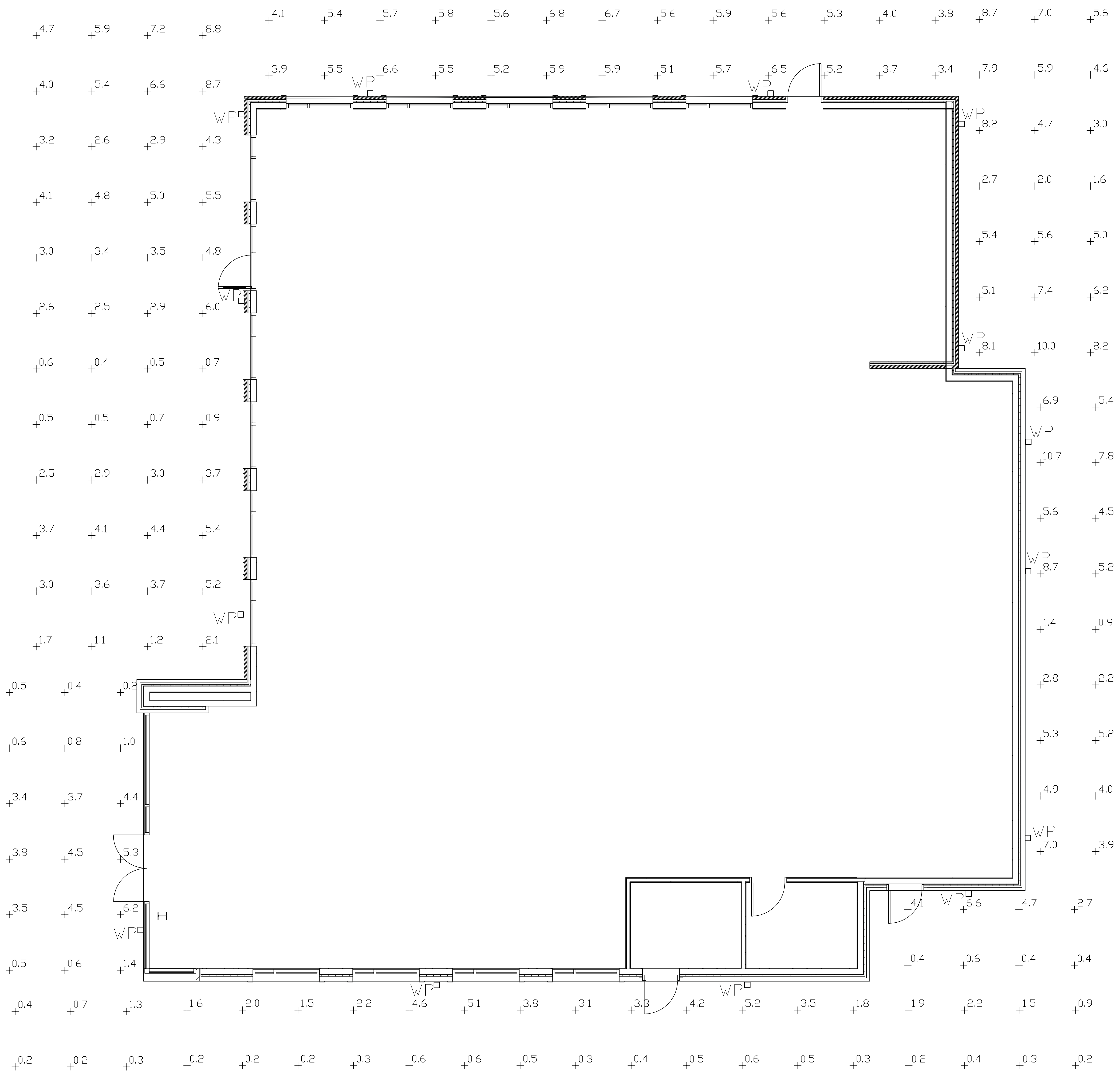


DARK BRONZE

Autodesk Docs://HHRR_FINCH/HHRR_RESTBLDG WITH LINKED OFFICES AND SITE.rvt

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LIGHTING FIXTURE SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	MODEL	LOAD	LAMP	VOLTAGE	NOTES
WP	OVER-DOOR LED OUTDOOR EGRESS AND SECURITY LIGHT WITH CUT OFF SHELDING	COOPER EATON	IST-AF-600-LED-E1-SL2	33 VA	LED	277 V	WALL MOUNT 4045 LUMENS



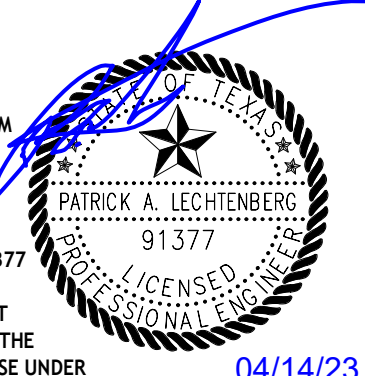
STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 607
ROCKWALL, TEXAS 75032

CIVIL
TNP, INC
825 WATTERS CREEK BLVD.
SUITE 500
ALLEN, TEXAS 75013

MEP ENGINEERING
C1S GROUP
4231 SIGMA ROAD, SUITE 110,
DALLAS, TEXAS 75244

PROFESSIONAL SEALS
LECHTENBERG ENGINEERING, PLLC
TEXAS REGISTERED ENGINEERING FIRM
F-15918
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY PATRICK A. LECHTENBERG, P.E. #91377 ON THE DATE INDICATED. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING ACT. THE SEAL IS NOT VALID WITHOUT SIGNATURE. 04/14/23



PRELIMINARY -
NOT FOR
CONSTRUCTION,
PERMITTING OR
REGULATORY
APPROVAL

HARBOR HEIGHTS

THE FINCH
2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75132

Project Number: 52219
Drawing Date: 4/14/23
Drawn: AUTHOR
Checked: CHECKER
Scale: NONE

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Revisions:
Revision Date Revision Description

Sheet Title:
**PHOTOMETRIC
SITE PLAN**

1 PHOTMETRIC FLOOR PLAN - LEVEL 1

NONE

\\CIS-FS01C1S\Projects\2-DESIGN\2023\55 Strohmeier\HRRR\Finch MEP\4_DESIGN\REV\HRRR_FINCH_4.12.23.rvt 4/14/2023 12:39:04 PM

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 4/20/2023

PROJECT NUMBER: SP2023-017
PROJECT NAME: Site Plan for Centers for Peace and Mercy
SITE ADDRESS/LOCATIONS: 600 TURTLE COVE BLVD

CASE CAPTION: Discuss and consider a request by David Srovji on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a Site Plan for a retail shopping center and house of worship on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	04/19/2023	Approved w/ Comments

04/19/2023: SP2023-017; Site Plan for the Center for Peace and Mercy
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by David Srovji on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a Site Plan for a retail shopping center and house of worship on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740].

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

I.3 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.4 For reference, include the case number (SP2023-017) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02. D, Article 11, of the UDC)

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also, remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan

(1) Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings berms, or walls matching the main structure. (Subsection 01.05.C, Article 05, of the UDC) Please indicate on your site plan if there are any pad mounted utility equipment. Utility equipment will be subject to screening if found later at engineering or building permit.

(2) Parking should not be located between the front façade and the street. Currently, there is a row of parking and several parking spaces in between Turtle Cove Boulevard and the front façade of the building. This needs to be corrected or a variance requested (Subsection 07.03, of Article 5, of the UDC).

M.7 Landscape Plan

1) Texas Red Oak and Bald Cypress are not permitted in the Scenic Overlay District. Please provide an alternative canopy tree (i.e. Lacebark Elm or Live Oak are acceptable). (Appendix C, of the UDC)

2) Provide one canopy tree per 750 SF of detention area and one accent tree for every 1,500 SF of detention area. (Subsection 05.03.D, Article 08, of the UDC)

3) Indicate all trees that will or have been removed with development. If trees were removed due to the development of Turtle Cove Blvd, please indicate as such so the trees can be removed from mitigation. There are currently no trees on the property. (Subsection 03.01.F, of Article 09, of the UDC)

M.8 Photometric Plan

(1) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. (Subsection 3.03.C, of Article 07, of the UDC)

M.9 Building Elevations

(1) Indicate exterior elevations adjacent to public right-of-way.

(2) All buildings must be designed such that no roof mounted mechanical equipment, HVAC, or satellite dishes shall be visible from any direction. (Subsection 01.05.C, of Article 05, UDC)

(3) All parapets shall be extended back and finished on the interior side using the same materials as the exterior facing walls. (Subsection 04.01, of Article 05, UDC) Please indicate this on the building elevations by adding a call out and providing a roof plan.

(4) The proposed buildings' facades do not meet the Commercial Building Articulation Standards for wall projections. (Subsection 04.01.C, of Article 05, UDC)

(5) All structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. (Subsection 06.02.C.2) This will require a variance from the Planning and Zoning Commission.

(6) All buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building (Subsection 06.02.5, of Article 05, UDC). In this case, the applicant has not provided the required row of trees along the perimeter of the subject property at the rear. This will require a variance from the Planning and Zoning Commission.

M.10 Based on the materials submitted staff has identified the following exceptions and variances for this project:

(1) Four-sided Architecture. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building." In this case, the proposed building does not meet the articulation standards for all four (4) facades and there is not an additional row of trees proposed at the back of the property.

(2) Roof Design Standards. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof. Those structures having a footprint 6,000 SF or greater shall have the option of being constructed with either a pitched, parapet, or mansard roof system as long as the roof system is enclosed on all sides. Standing seam metal roofs shall be constructed of a factory-treated, non-metallic, matte finish to avoid glare. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membrane type roofs that are visible from adjacent public right-of-way shall be prohibited." In this case, the proposed building has a flat roof and therefore does not meet this standard.

(3) Parking Restrictions. According to Article 05, General Overlay District Development Standards, of the Unified Development Code (UDC), "No more than one (1) full row of parking (i.e. two rows of parking with a drive aisle) shall be allowed between the primary building façade and the right-of-way of the Primary Roadway." In this case, there is a row of parking and several parking spaces in between Turtle Cove Boulevard and the front façade of the building.

M. 11 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and subsequent two (2) compensatory measures for each exception or variance. (Subsection 09.02, of Article 11). Compensatory measures to consider:

- (1) Higher caliper trees.
- (2) Additional landscaping.
- (3) Increased building articulation.
- (4) Increased architectural elements.

M.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 2, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 9, 2023 Planning & Zoning Meeting.

I.13 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on April 28, 2023
- (2) Planning & Zoning meeting/public hearing meeting will be held on May 9, 2023.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request. Please also note the Architecture Review Board will review the building elevations for this site plan an hour before the scheduled Planning and Zoning meetings (at 5:00 PM), it is highly encouraged that your project architect attend this meeting.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	04/20/2023	Needs Review

04/20/2023: - Ex. 10' sewer easement on property. Detention is not allowed in any utility/water/sewer easement.

- No metal fencing allowed. There is a retaining wall proposed here.
- Label 48' radius for turnaround.
- Are you relocating sewer now or for Phase 2.
- Show 20' water easement.
- Add: Public cross access and utility to fire lane easement.
- Label proposed 5' sidewalk.
- Dumpster area to drain to oil/water separator prior to discharging into storm system.

Informational comments below.

- Need to show existing and proposed water and sewer along with easements
- Dumpster area to drain to oil/water separator prior to discharging into the storm system
- Show the 100 year fully developed flood plain
- Show proposed retaining wall
- No structures including retaining walls in easements
- No vertical walls in detention/drainage easement
- No metal fencing allowed
- Impact fees are due at building permit
- Siren fee is due
- Add note: Dimensions are to face of curb and edge of paving
- See markup on A102

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	04/20/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
------------	----------	----------------	-------------------

FIRE	Ariana Kistner	04/17/2023	Needs Review
------	----------------	------------	--------------

04/17/2023: Show the location of proposed/existing fire hydrants that are providing coverage.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
------------	----------	----------------	-------------------

GIS	Lance Singleton	04/17/2023	Approved
-----	-----------------	------------	----------

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
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POLICE	Chris Cleveland	04/17/2023	Approved
--------	-----------------	------------	----------

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
------------	----------	----------------	-------------------

PARKS	Travis Sales	04/17/2023	Approved w/ Comments
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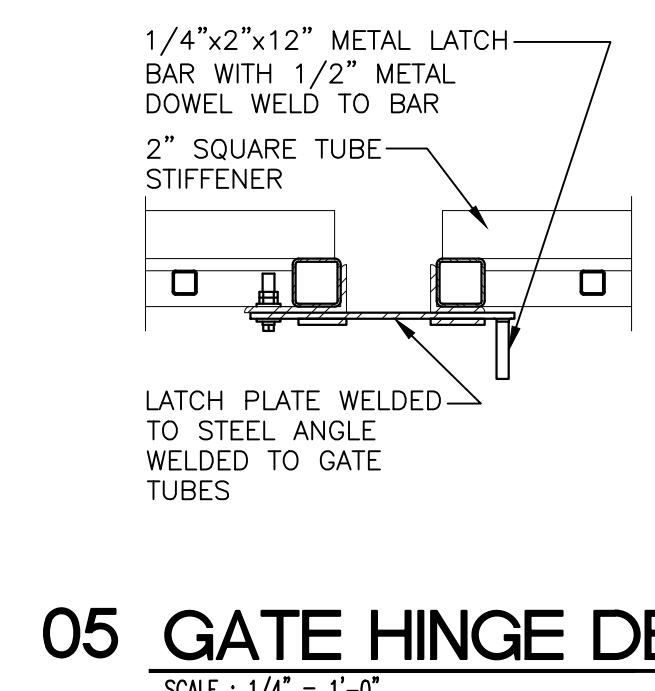
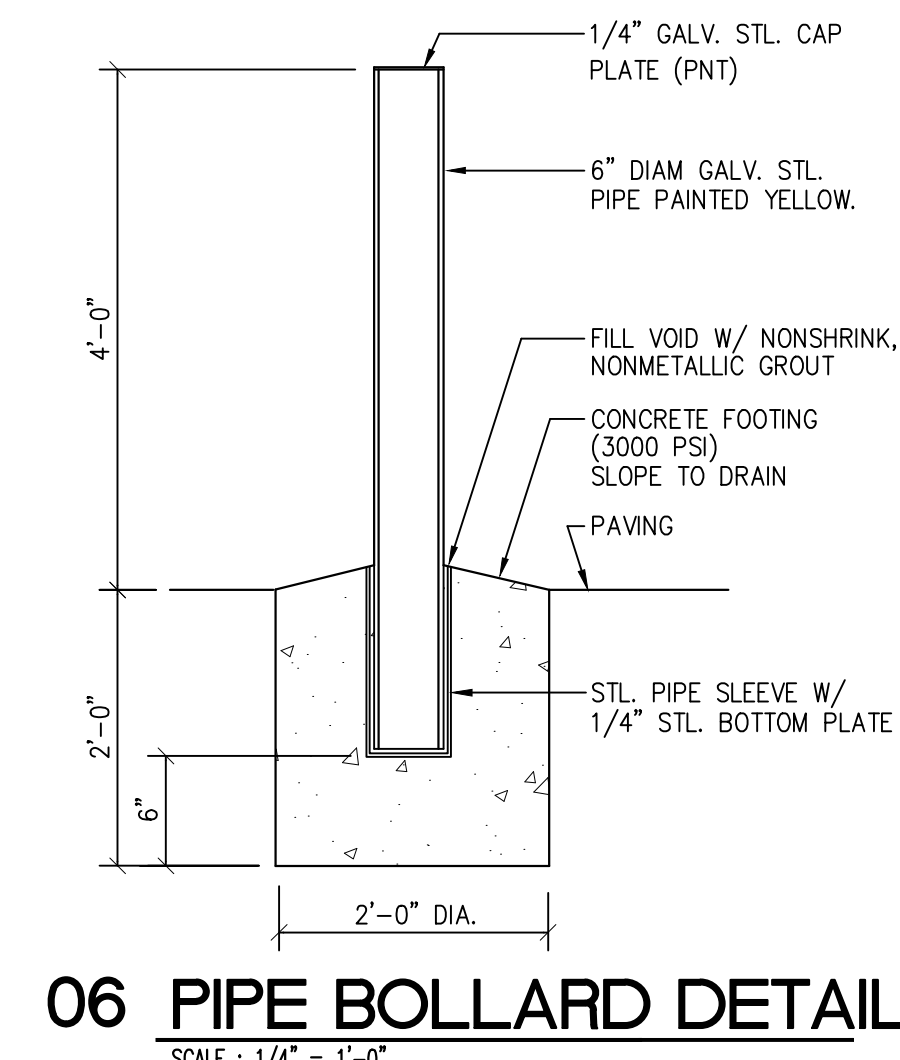
04/17/2023: Tree mitigation
How will the 77 inches to be mitigated through payment to the city of Rockwall?

Landscape Plan approved

- TYPICAL SITE PLAN NOTES:**
1. ALL UTILITY SERVICES NEEDS TO BE VERIFIED REFER TO CIVIL & MEP DRAWINGS.
 2. KEEP WORK AREA CLEAN AND SAFE DURING WORKING HOURS AND DISPOSE TRASHES END OF THE DAY.
 3. REFER TO CIVIL DRAWINGS FOR FINAL GRADING.
 4. REFER TO CIVIL & SURVEY DRAWINGS FOR LAND BOUNDARY & AREA.
 5. REFER TO CIVIL FOR ROAD CURBS, DETAILS & DIMENSION CONTROL NUMBERS.
 6. REFER TO CIVIL FOR ADDITIONAL PROJECT DATA.
 7. REFER TO CIVIL FOR DUMPSTER AREA DRAIN DETAILS.

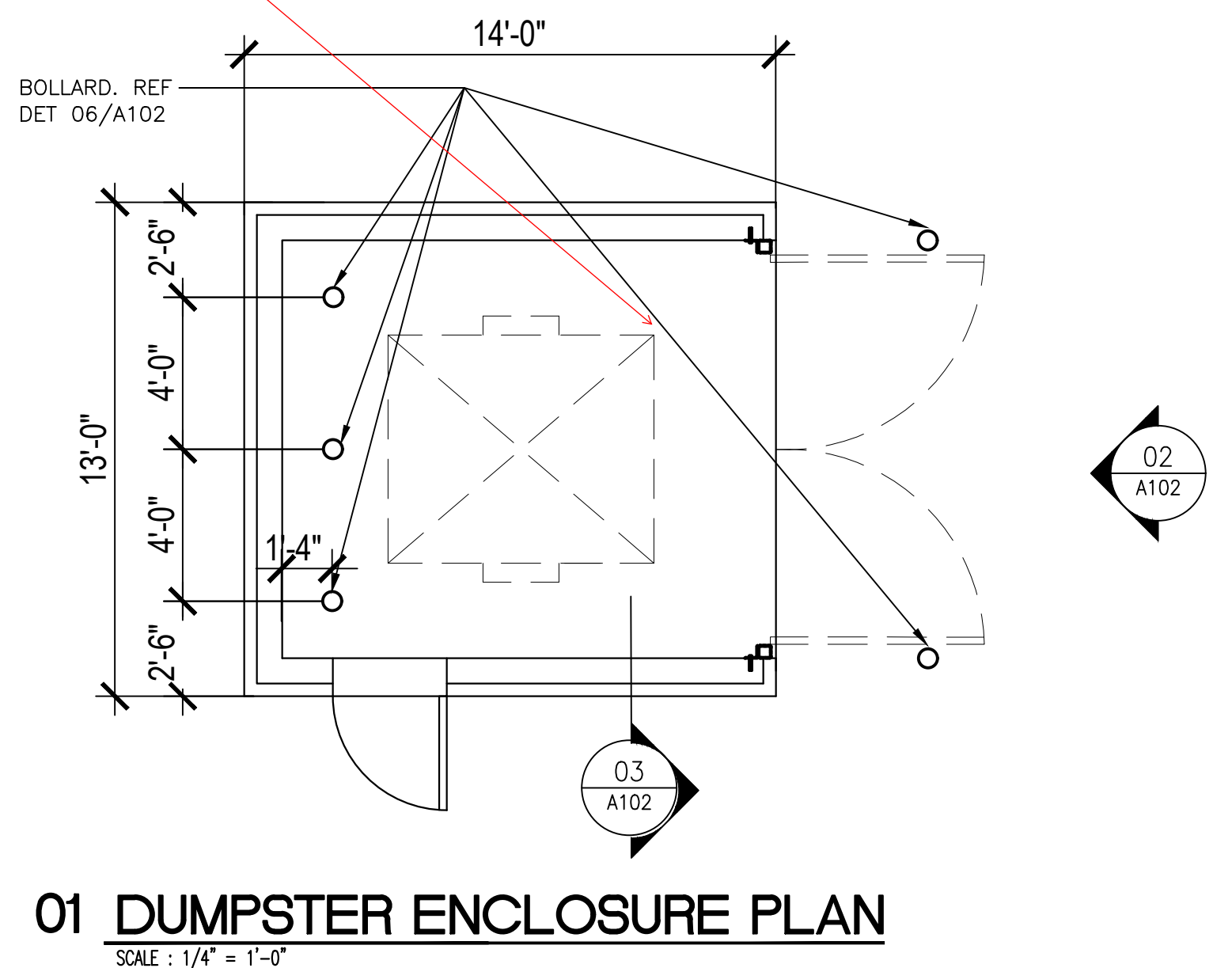
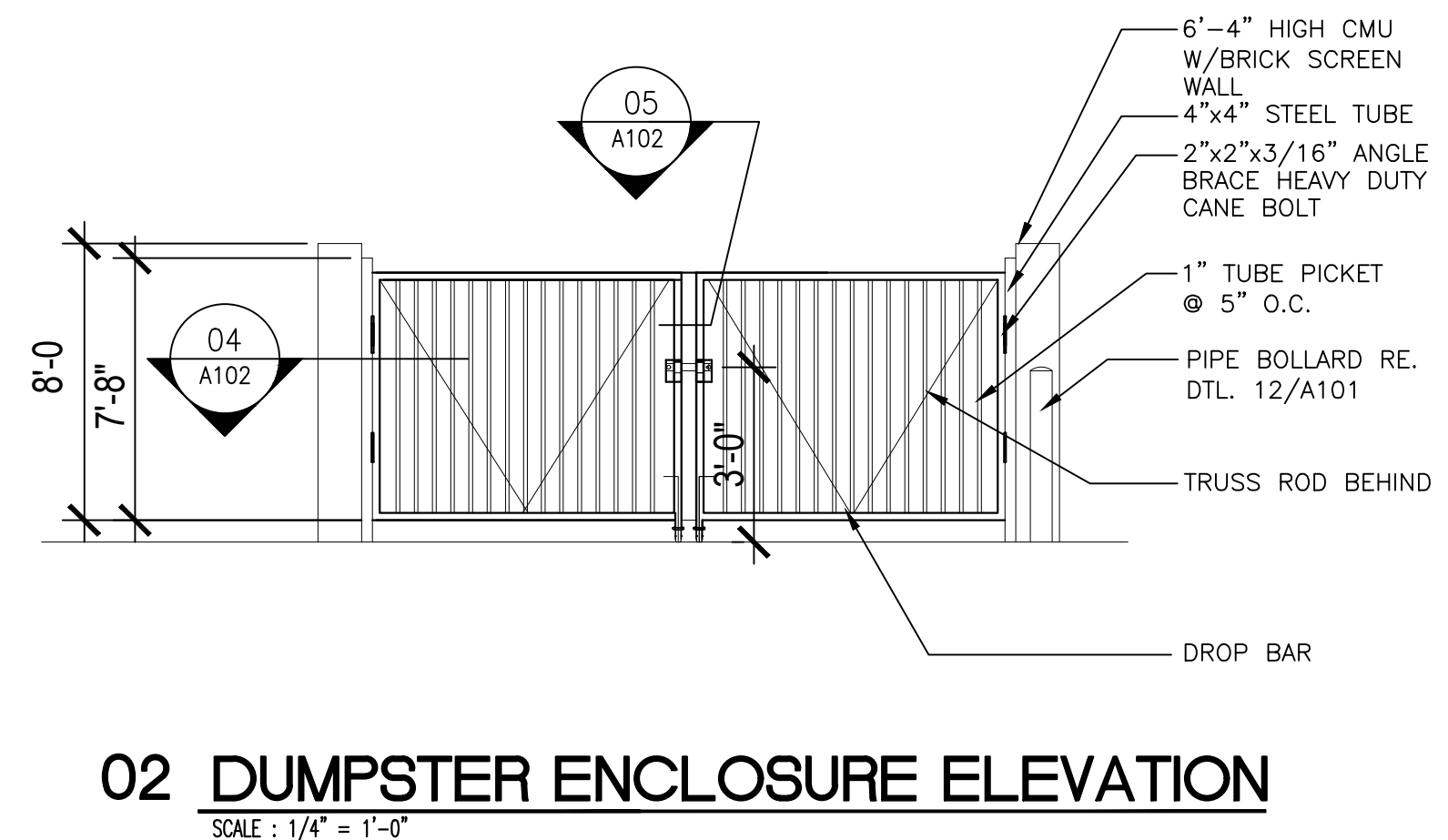
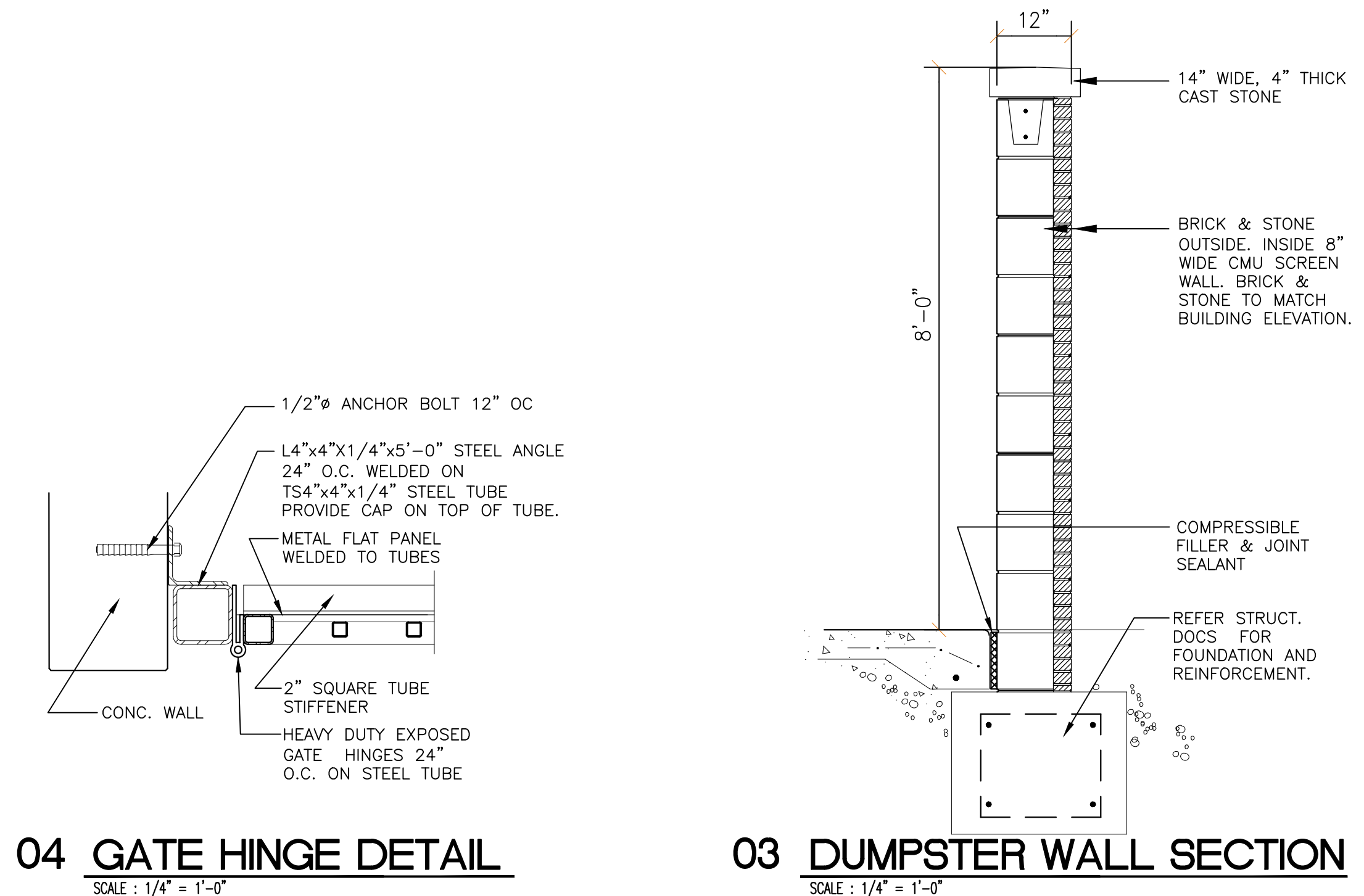
OWNER:
CENTER FOR PEACE AND MERCY, INC.
PHONE: 318-617-3491
EMAIL: Peacemercyinc@gmail.com

PROJECT:
RETAIL BUILDING
PHASE-1
600 Turtle Cove Boulevard, Rockwall, Tx 75087



Dumpster area to drain to oil/water separator prior to discharging into storm system

NOTE:
 REFER TO 3/ A502 FOR DUMPSTER ELEVATIONS.



REVISIONS:

ARCHITECT OF THE RECORD:
 Fokruddin Khondaker AIA, NCARB
Oculus Architects, Inc.
 14310 Rich Branch Dr.
 North Potomac, MD 20878
 Tel. (800) 609 4806



12/26/2022
amazing concept
 residential & commercial projects
 545 Coventry Drive, Grapevine, Tx 76051
 Tel. (817) 806 0811
 E-mail: okm.helaluzzaman@gmail.com

SHEET TITLE:
 SITE DETAILS

DATE:	SCALE:
06.09.2021	AS SHOWN
DRAWN:	DESIGNER:
	A. HELALUZZAMAN
PROJECT #	H-2019-02
SHEET NO.:	A102



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

SP2023-017

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 600 TURTLE COVE ROCKWALL TX 75087

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE EMPTV

PROPOSED ZONING _____ PROPOSED USE COMMERCIAL

ACREAGE 2.6 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>ABDUL LATIF KHAN</u>	<input type="checkbox"/> APPLICANT	
CONTACT PERSON		CONTACT PERSON	<u>DAVID SROUSI</u>
ADDRESS	<u>5411 KINGSTON DR.</u>	ADDRESS	<u>755 VALLEGO DR</u>
CITY, STATE & ZIP	<u>RICHARDSON TX. 75082</u>	CITY, STATE & ZIP	<u>ROCKWALL TX 75087</u>
PHONE	<u>469-870-6020</u>	PHONE	<u>469-456-5935</u>
E-MAIL	<u>hafgab@hotmail.com</u>	E-MAIL	<u>DAVID.SROUSI960@GMAIL.COM</u>

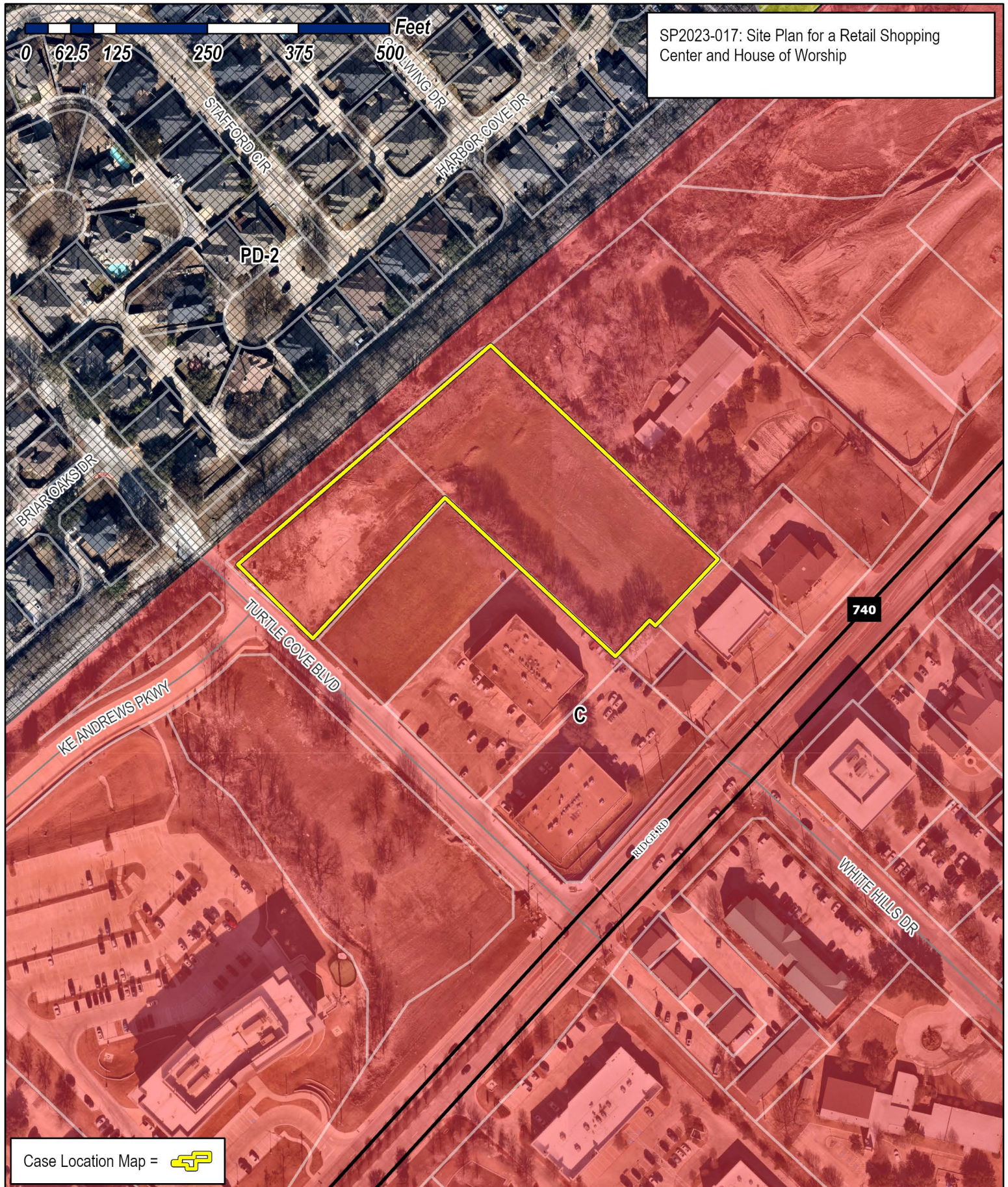
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Srousi [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:


"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 250.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF April, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF April, 2023
OWNER'S SIGNATURE _____
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





SP2023-017: Site Plan for a Retail Shopping Center and House of Worship

Case Location Map = 

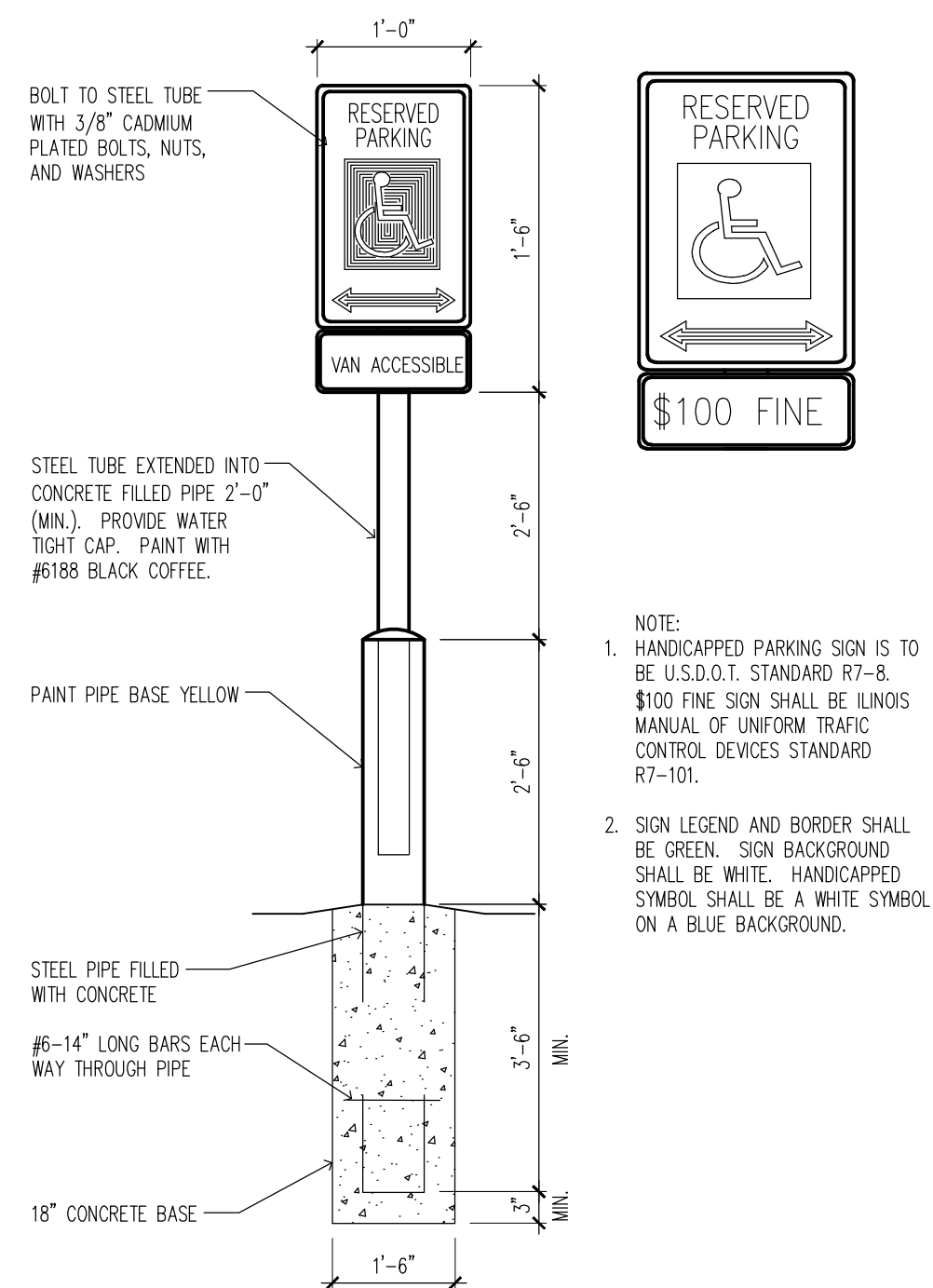


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

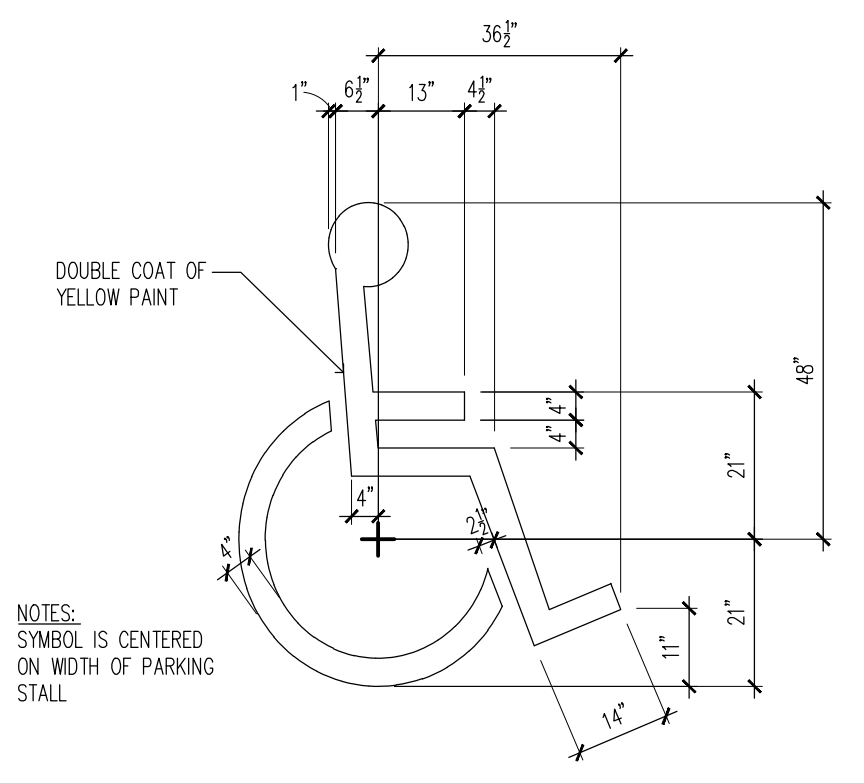
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



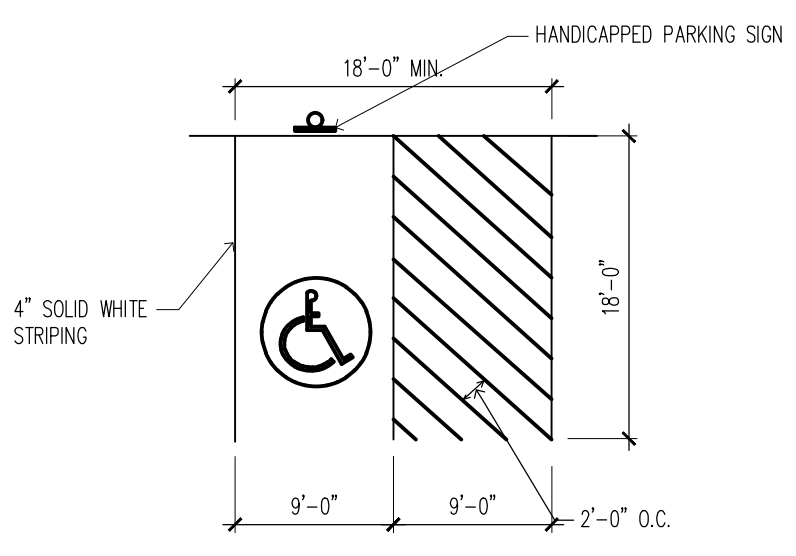


05 HANDICAP PARKING SIGN
N.T.S.

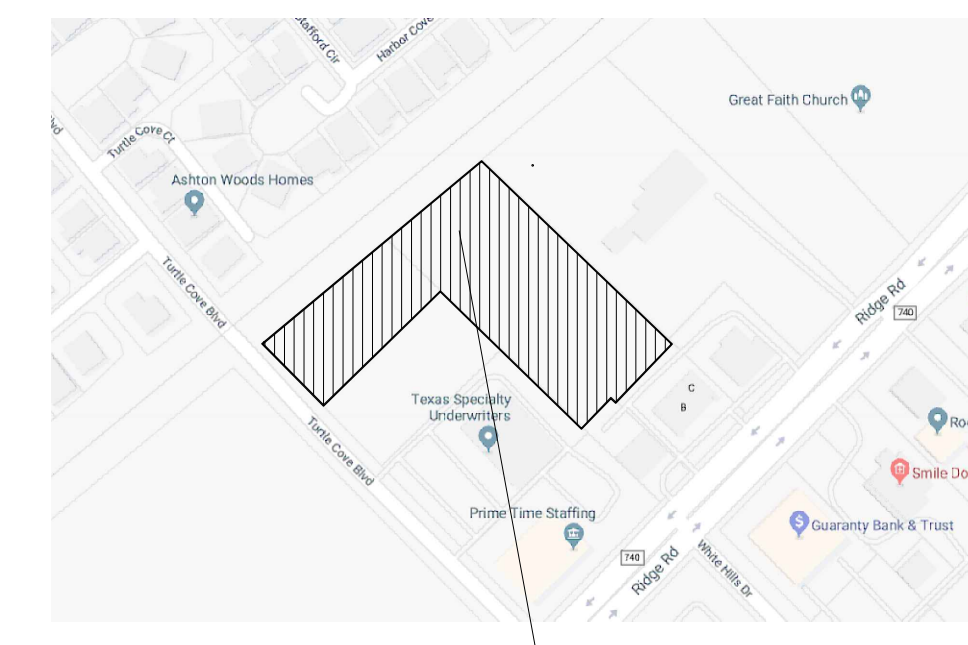
NOTE: ALL HANDICAPPED PARKING SYMBOL, SIZES, COLOR & STANDARD TO MATCH WITH LATEST TEXAS ADA STANDARD & FEDERAL ADAAG STANDARD.



04 HANDICAPPED PAINTED SYMBOL
N.T.S.

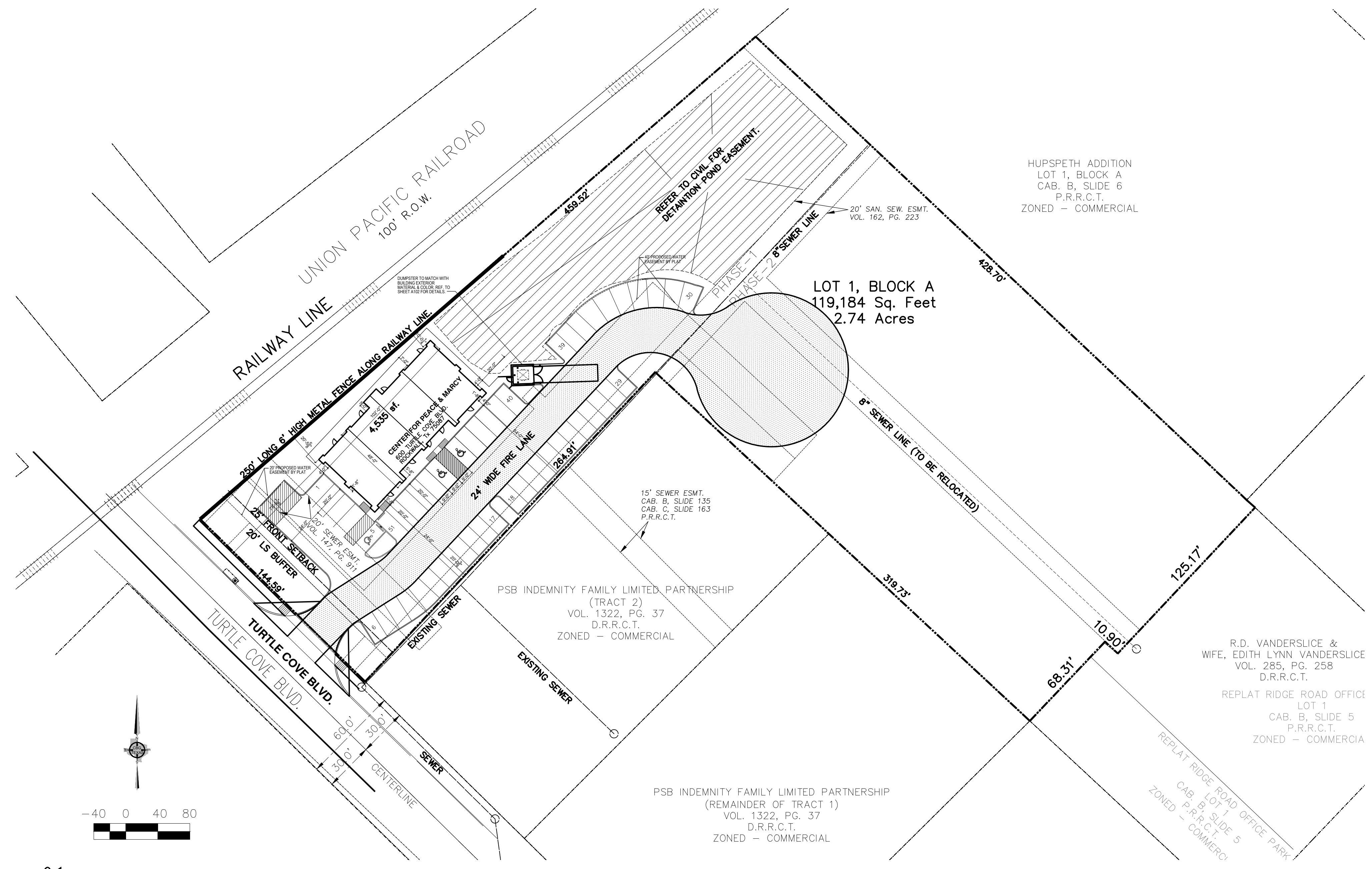


03 HANDICAPPED PARKING STALL
N.T.S.



THE SITE
600 TURTLE COVE DR.
ROCKWALL, TX 75087

02 VICINITY MAP
SCALE: 1"=40'4"



01 SITE PLAN
SCALE: 1"=40'4"

SITE DATA TABLE	
DESCRIPTION	
ZONING (FROM ZONING MAP)	COMMERCIAL (C) DISTRICT
ZONING	COMMERCIAL (C) DISTRICT
OVERLAY DISTRICT	SCENIC OVERLAY DISTRICT (SOD)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,535 SF.
TOTAL LOT AREA	2.74 AC. (119,184 SF.)
LOT COVERAGE	25.88%
FLOOR AREA RATIO	0.038:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
RETAIL AREA	2,268 SF.
ASSEMBLY (WORSHIP)	2,267 SF.
WORSHIP OCCUPANTS	110 M + 26 W = 136 TOTAL
RETAIL OCCUPANTS	2,268 / 60 = 37.8 (SAY 38)
PARKING REQUIRED (WORSHIP)	136/4 = 34
PARKING REQUIRED (RETAIL)	2,268/200 = 11.34 (SAY 12)
TOTAL PARKING REQUIRED	34+12 = 46
TOTAL PARKING PROVIDED	51 INCLUDING 3 ADA

- TYPICAL SITE PLAN NOTES:**
1. ALL UTILITY SERVICES NEEDS TO BE VERIFIED REFER TO CIVIL & MEP DRAWINGS.
 2. KEEP WORK AREA CLEAN AND SAFE DURING WORKING HOURS AND DISPOSE TRASHES END OF THE DAY.
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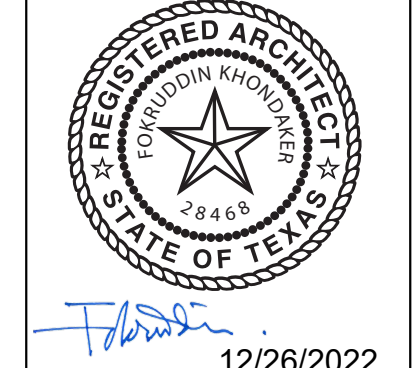
OWNER:
CENTER FOR PEACE AND MERCY, INC.
PHONE: 318-617-3491
EMAIL: Peacemercyinc@gmail.com

PROJECT:
RETAIL BUILDING
PHASE-1
600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:

NO.	DATE	DESCRIPTION
1	10.28.22	CITY COMMENTS

ARCHITECT OF THE RECORD:
Fokriddin Khondaker AIA, NCARB
Oculus Architects, Inc.
14310 Rich Branch Dr.
North Potomac, MD 20878
Tel: (800) 605-4806



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residential & commercial projects
545 Coventry Drive, Grapevine, TX 76051
Tel: (817) 806-0811
E-mail: okm.heboluzzaman@gmail.com

SHEET TITLE:
SITE PLAN

DATE: 06.09.2021
SCALE: AS SHOWN
DRAWN:
DESIGNER:
A. HELALUZZAMAN

PROJECT #
H-2019-02
SHEET NO.:
A101



DARK BRONZE FRAMES, PARAPET CAP & CANOPY



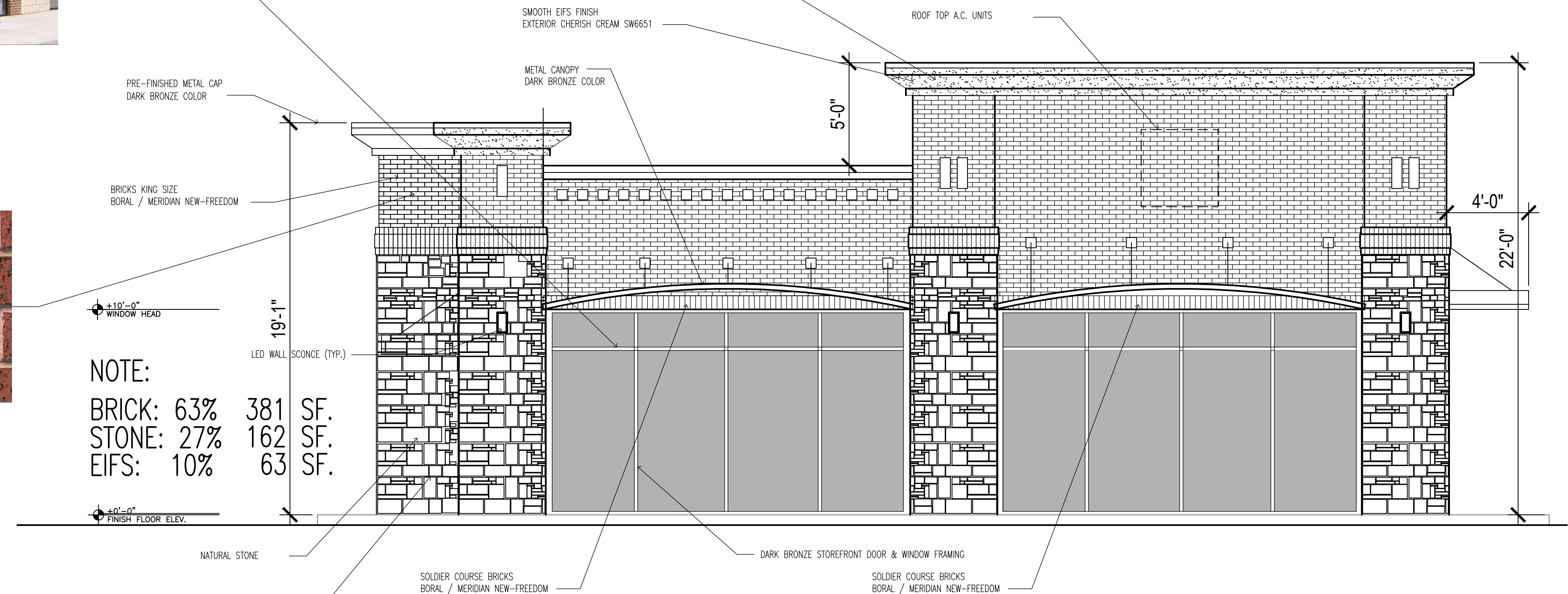
CHERISH CREAM SW6651 OR EQUAL



BORAL KINGSIZE MERIDIAN NEW-FREEDOM OR EQUAL

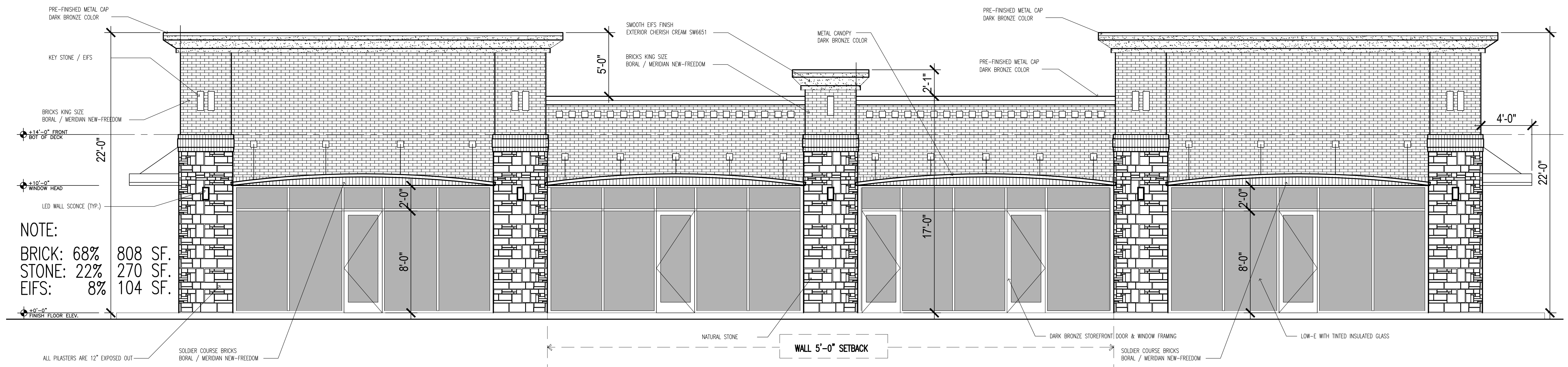


NATURAL LIME STONE OR EQUAL



2 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



1 EAST ELEVATION

SCALE: 1/4" = 1'-0"

OWNER:
CENTER FOR PEACE AND MERCY, INC.

PHONE: 318-617-3491
EMAIL: Peacemercyinc@gmail.com

PROJECT:
RETAIL BUILDING
PHASE-1

600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:

ARCHITECT OF THE RECORD:
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12/26/2022

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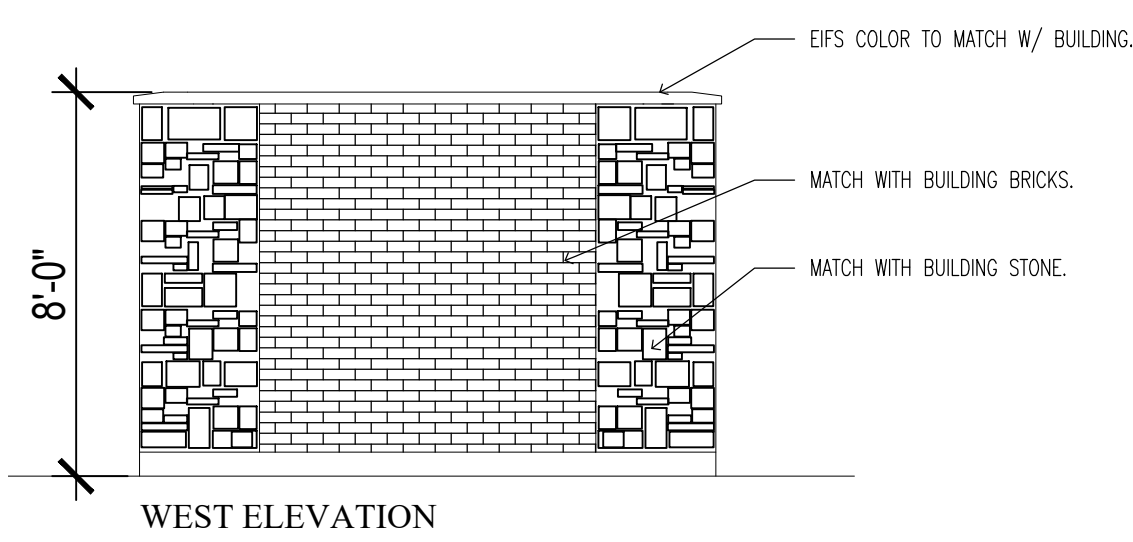
SHEET TITLE:
EXTERIOR ELEVATIONS

DATE:
06.09.2021

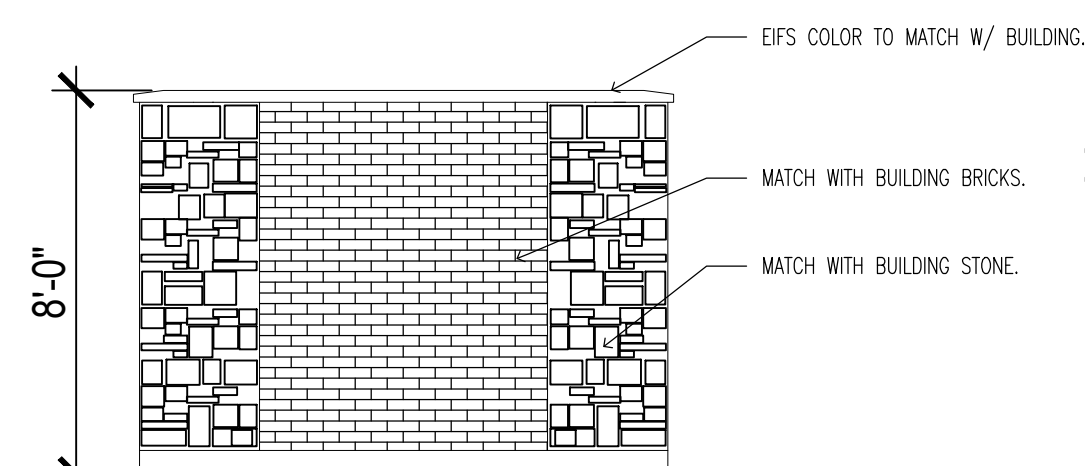
SCALE:
AS SHOWN

PROJECT #
H-2019-02

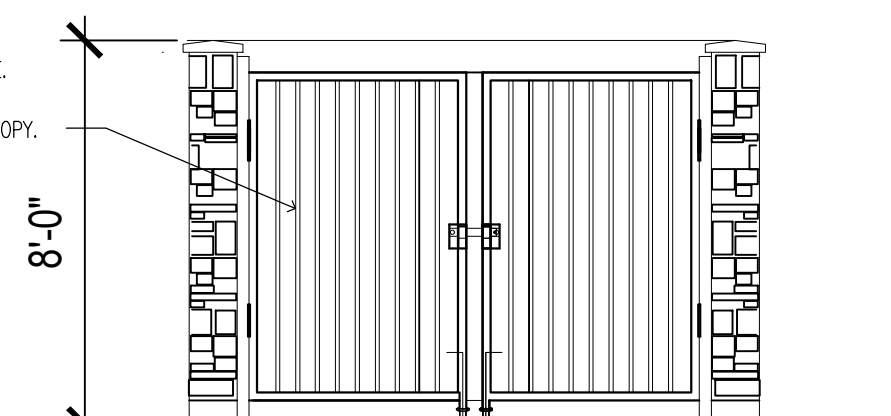
SHEET NO:
A501



WEST ELEVATION



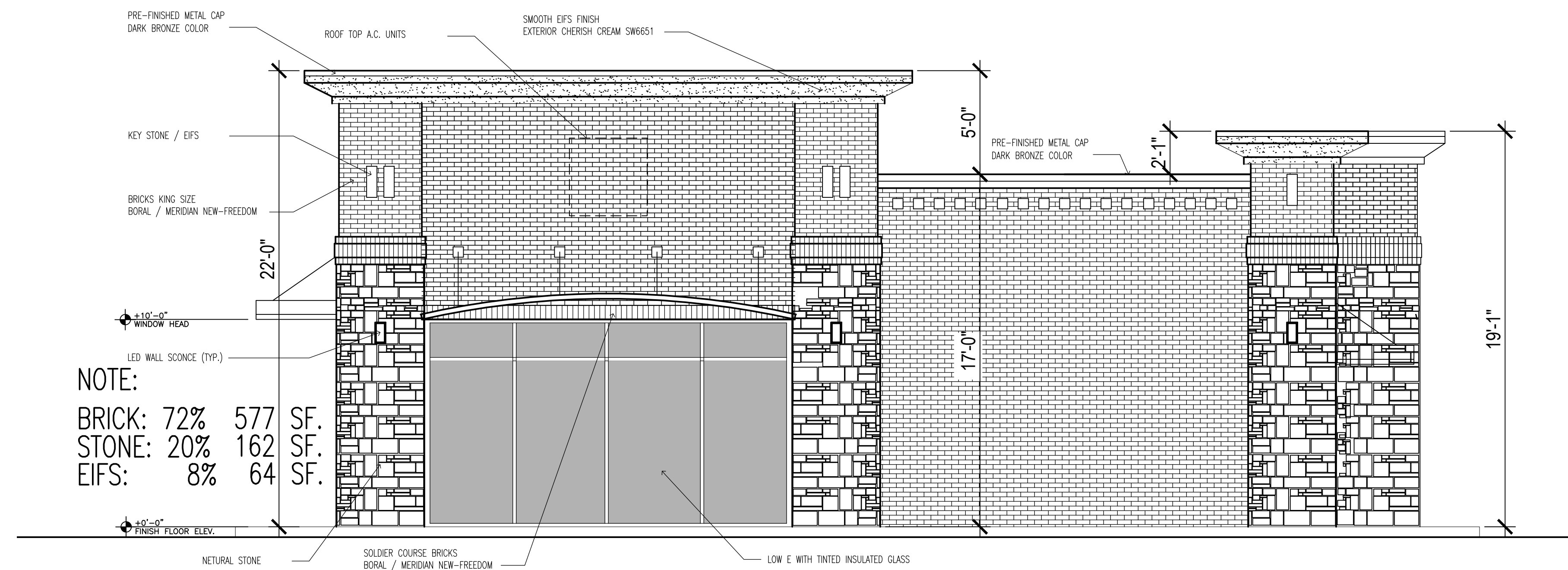
NORTH & SOUTH ELEVATIONS



EAST ELEVATION

3 DUMPSTER ELEVATIONS

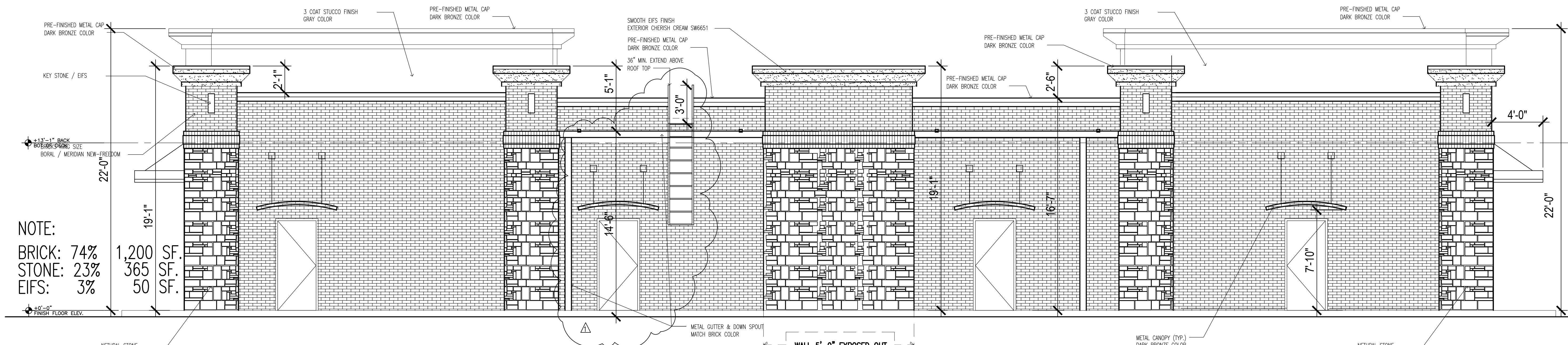
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:
 BRICK: 72% 577 SF.
 STONE: 20% 162 SF.
 EIFS: 8% 64 SF.



1 WEST ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:
 BRICK: 74% 1,200 SF.
 STONE: 23% 365 SF.
 EIFS: 3% 50 SF.

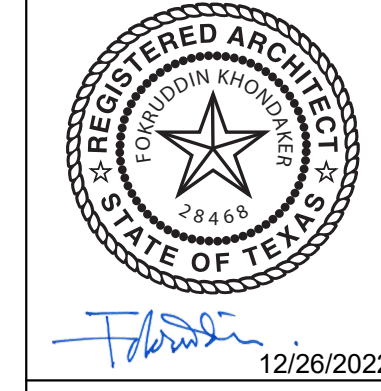
OWNER:
 CENTER FOR PEACE AND MERCY, INC.
 PHONE: 318-617-3491
 EMAIL: Peacemercyinc@gmail.com

PROJECT:
 RETAIL BUILDING
 PHASE-1
 600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:

OWNER CHANGE	01.28.22

ARCHITECT OF THE RECORD:
 Fokruddin Khondaker AIA, NCARB
Oculus Architects, Inc.
 14310 Rich Branch Dr.
 North Potomac, MD 20878
 Tel. (800) 609-4806



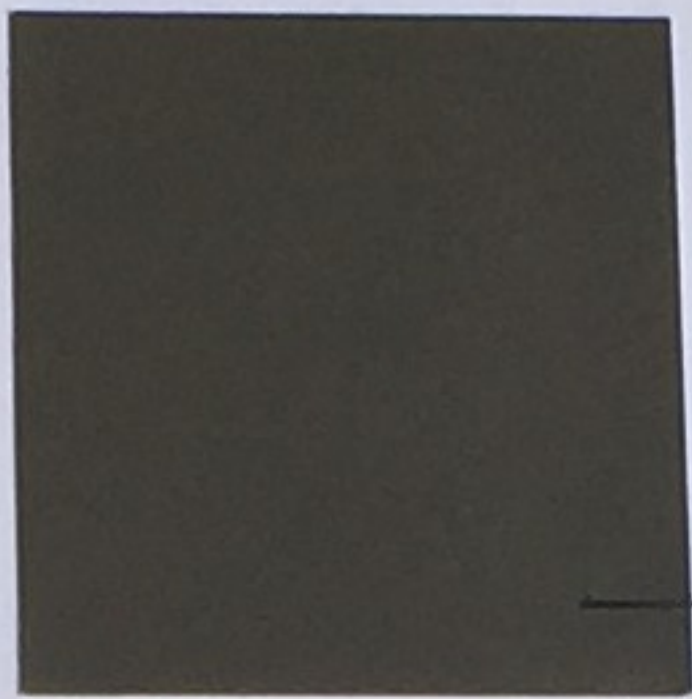
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SHEET TITLE:
 EXTERIOR ELEVATIONS

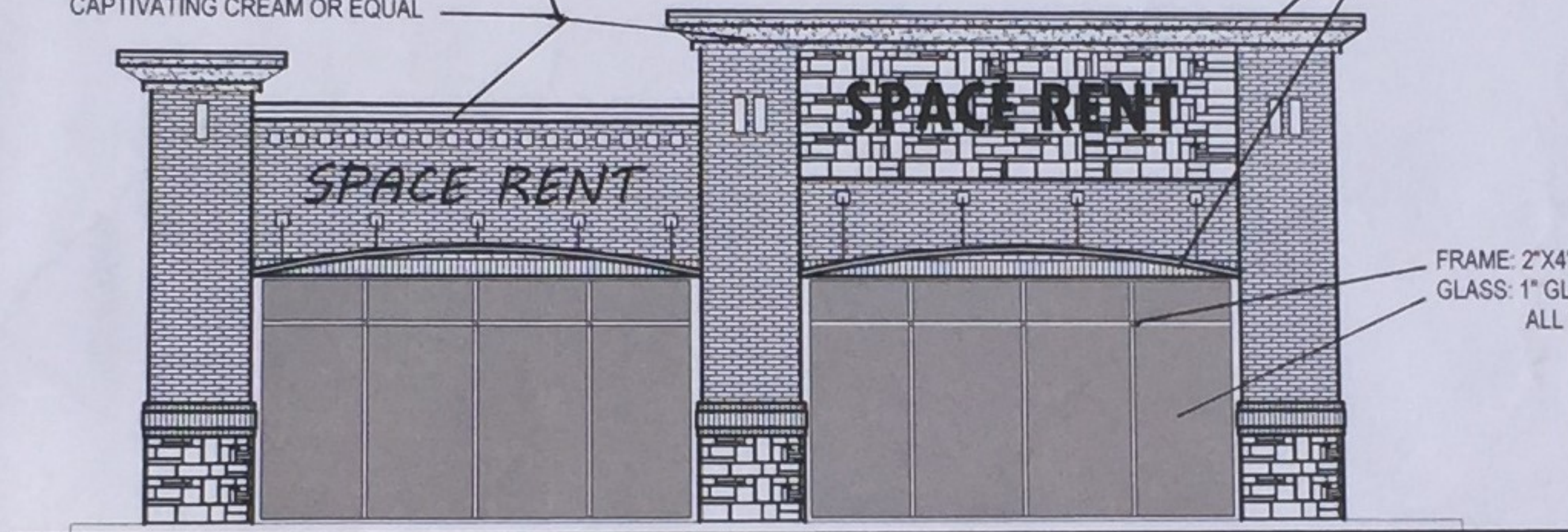
DATE: 06.09.2021	SCALE: AS SHOWN
DRAWN: A. HELALUZZAMAN	DESIGNER: A. HELALUZZAMAN
PROJECT # H-2019-02	SHEET NO: A502



SW 6659
CAPTIVATING CREAM OR EQUAL



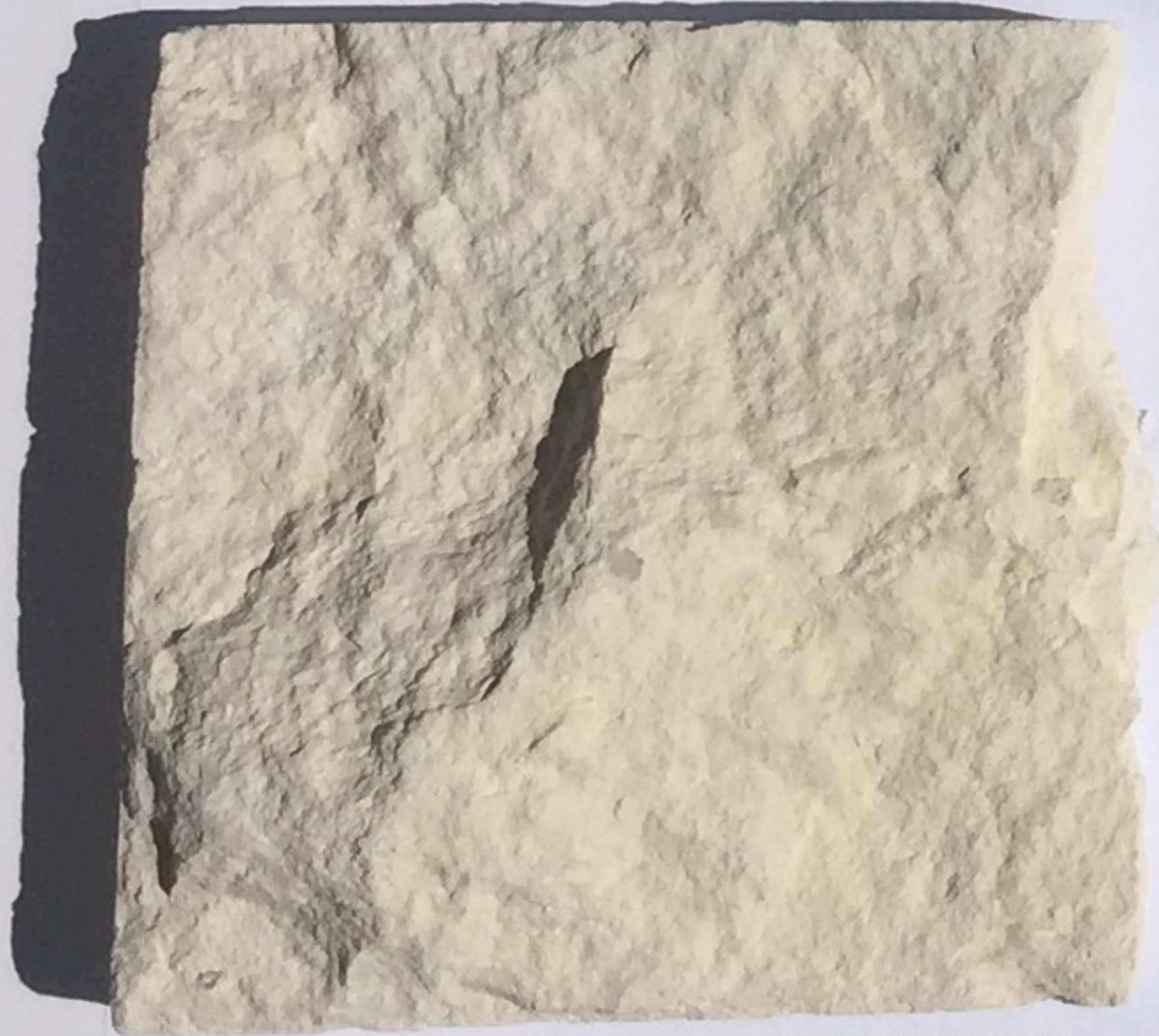
PRE-FINISHED METAL CAP & CANOPY
DARK BRONZE



FRAME: 2"x4" (DARK BRONZE)
GLASS: 1" GLAZING (1/4"-1/2"-1/4")
ALL TEMPERED & TINTED GLASS



PUBLIC ROAD SIDE ELEVATION



AUSTIN LIME STONE OR EQUAL



MERIDIAN NEW-FREEDOM OR EQUAL

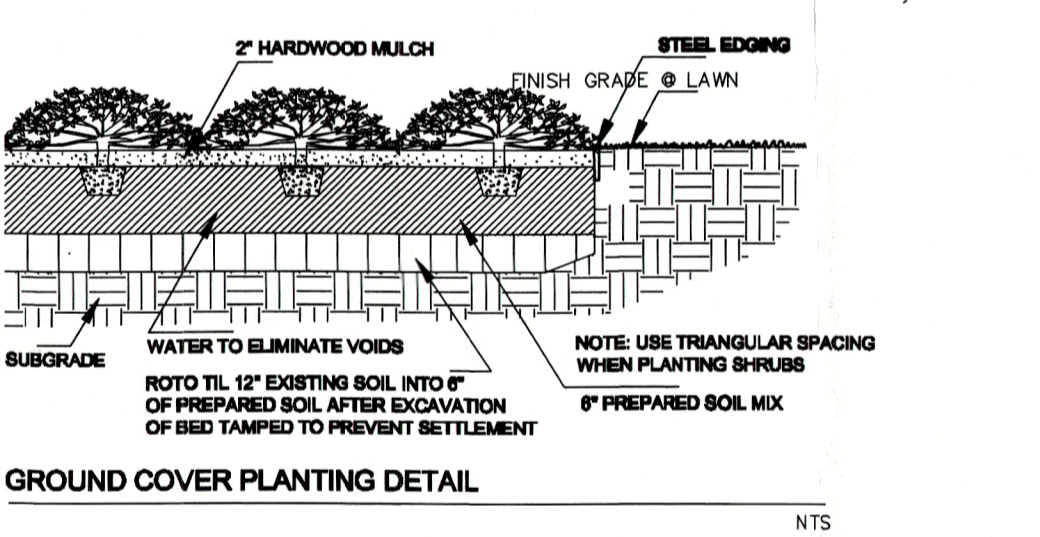
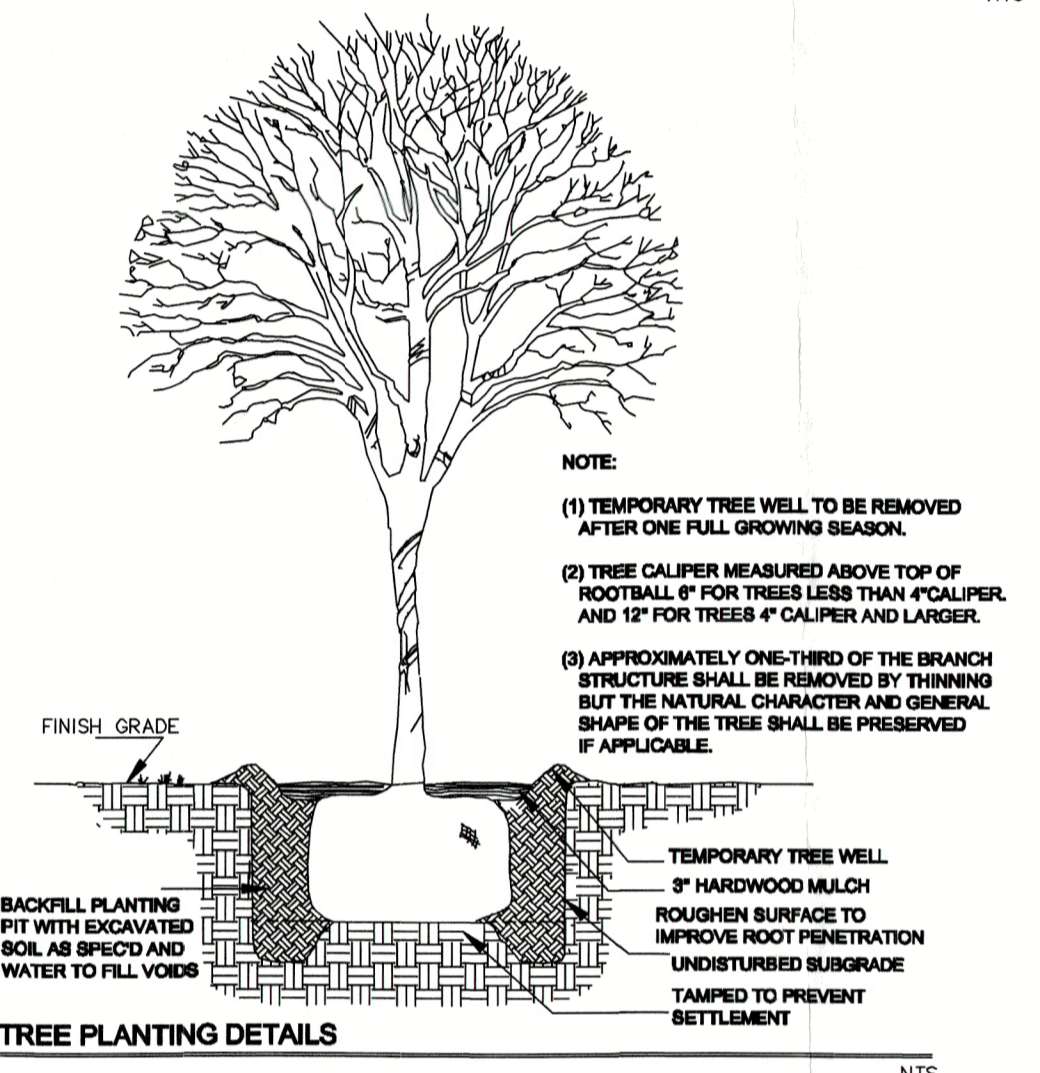
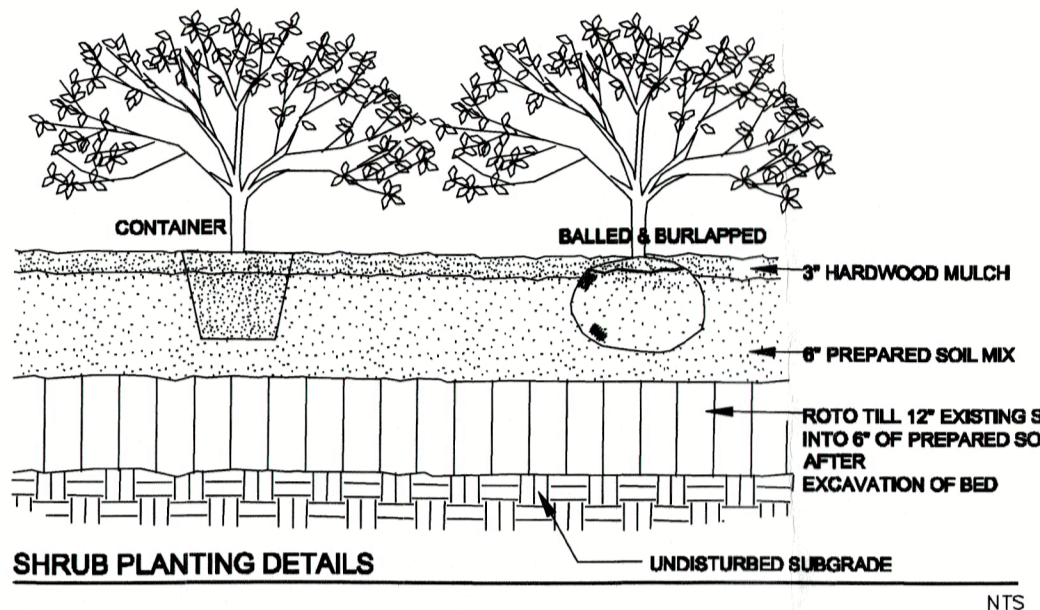
OWNER:
Abdul Latif Khan
4152 Goodland Dr., Richardson, TX 75082

PROJECT:
RETAIL BUILDING
PHASE-1

APPLICANT:
Ahmed Helaluzzaman

amazing o
Commercial & Residential
1450 Country Drive, Suite 100
Ft. Worth, TX 76104
Tel: 817-353-1811
E-mail: ahmed.helaluzzaman@gmail.com

PROJECT N
RETAIL BU
CASE NUM



planting notes

1. USE 1/2" X 1/2" STEEL EDGING (PAINTED GREEN).
2. USE 4" "SOOD EARTH" OR EQUIVALENT PLANTING MIX FOR BED PREPARATIONS. ROTOTILL BED MIX TO THE DEPTH OF 12" MINIMUM.
3. ALL THE LAWN AREAS TO BE HYDRATED MULCH BERMUDA GRASS. REPLACE ALL THE DAMAGED EXISTING LAWN AREAS AS NEEDED.
4. TOP DRESS ALL THE PLANTING BED AREAS WITH 2" DEEP HARD WOOD MULCH, AFTER PLANTING OPERATIONS.
5. THE SITE WILL BE IRRIGATED WITH BELOW GRADE AUTOMATIC IRRIGATION SYSTEM WITH PRESSURE SENSOR, THAT IS CAPABLE OF PROVIDING THE PROPER AMOUNT OF WATER FOR PARTICULAR TYPE OF PLANT MATERIAL USED.

landscape area

LOT AREA (PHASE 1): 8,829 SF (1.48 AC.)
 LANDSCAPE AREA REQUIRED: 0.866 SF (1% N/A)
 PROVIDED: 24,808 SF.
 BLDG. AREA: 4,828 SF.
 TOTAL NUMBER OF PARKING SPACES REQUIRED: 81.
 SPACES PROVIDED: 81.

planting requirement

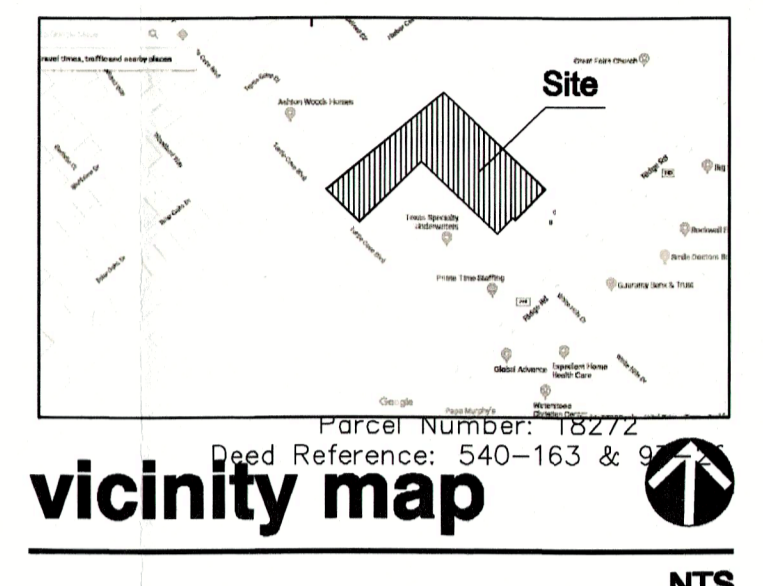
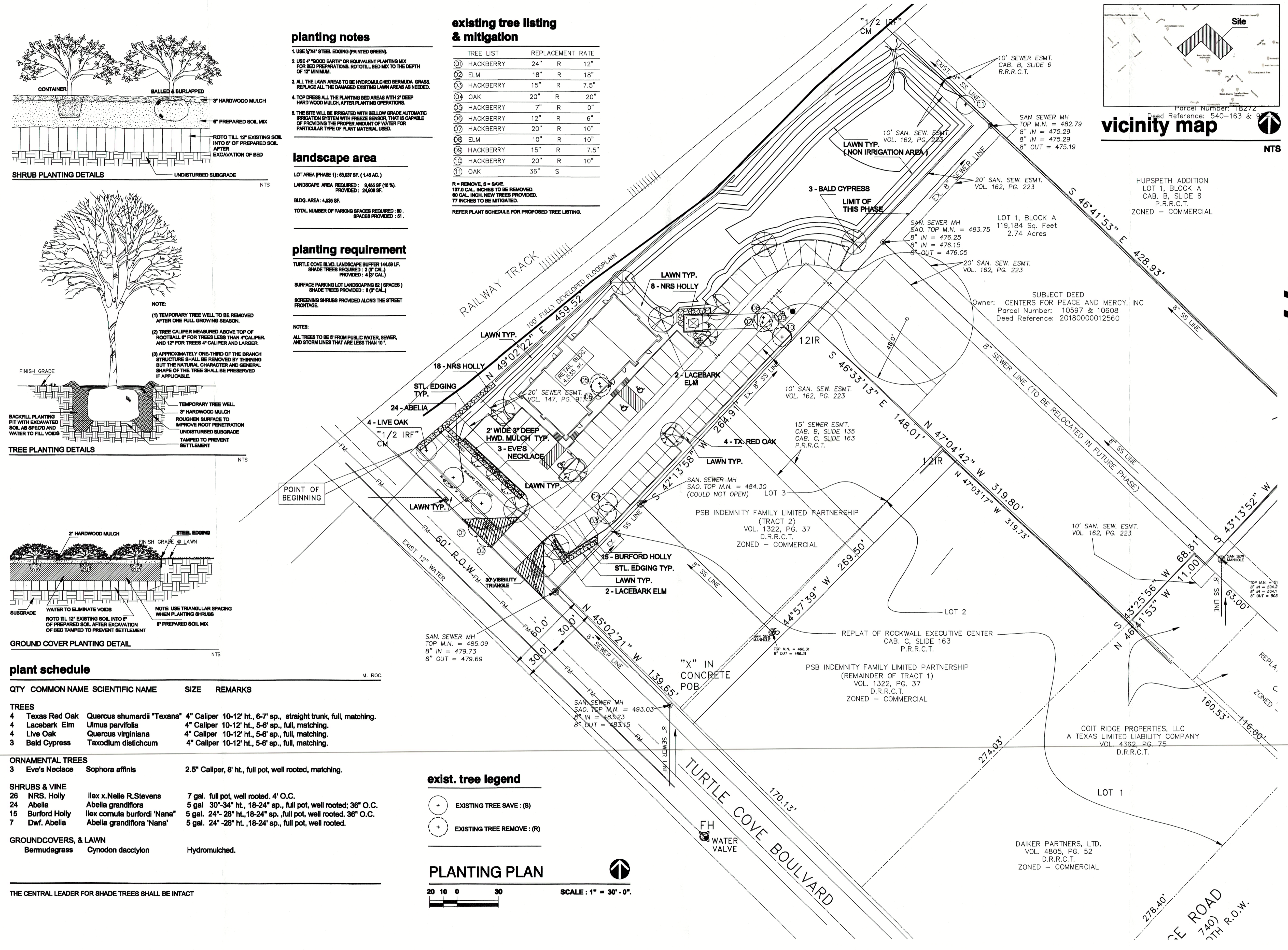
TURTLE COVE BLVD. LANDSCAPE BUFFER 144.89 LF.
 SHADE TREES REQUIRED: 3 (2" CAL.)
 PROVIDED: 4 (2" CAL.)
 SURFACE PARKING LOT LANDSCAPING 62 (SPACES)
 SHADE TREES PROVIDED: 6 (2" CAL.)
 SCREENING SHRUBS PROVIDED ALONG THE STREET FRONTAGE.

NOTE:
 (1) TEMPORARY TREE WELL TO BE REMOVED AFTER ONE FULL GROWING SEASON.
 (2) TREE CALIPER MEASURED ABOVE TOP OF ROOTBALL 4" FOR TREES LESS THAN 4" CALIPER AND 12" FOR TREES 4" CALIPER AND LARGER.
 (3) APPROXIMATELY ONE-THIRD OF THE BRANCH STRUCTURE SHALL BE REMOVED BY THINNING BUT THE NATURAL CHARACTER AND GENERAL SHAPE OF THE TREE SHALL BE PRESERVED IF APPLICABLE.

existing tree listing & mitigation

TREE LIST	REPLACEMENT RATE
01 HACKBERRY 24" R 12"	
02 ELM 18" R 18"	
03 HACKBERRY 15" R 7.5"	
04 OAK 20" R 20"	
05 HACKBERRY 7" R 0"	
06 HACKBERRY 12" R 6"	
07 HACKBERRY 20" R 10"	
08 ELM 10" R 10"	
09 HACKBERRY 15" R 7.5"	
10 HACKBERRY 20" R 10"	
11 OAK 36" S	

R = REMOVE, S = SAVE
 197.0 CAL. INCHES TO BE REMOVED.
 90 CAL. INCH. NEW TREES PROVIDED.
 17 INCHES TO BE MITIGATED.
 REFER PLANT SCHEDULE FOR PROPOSED TREE LISTING.



aroids
 landscape architects
 5907 Indian Hills drive, garland, Texas 75044, 214.403.2034, masonm2745@gmail.com

CPM MASJID (PHASE ONE)
OWNER : CENTER FOR PEACE & MERCY, INC.
 600 TURTLE COVE BLVD.
 ROCKWALL, TX. 75087.

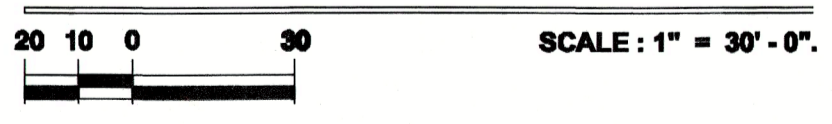
plant schedule

QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
TREES				
4	Texas Red Oak	Quercus shumardii "Texana"	4" Caliper	10-12' ht., 6-7' sp., straight trunk, full, matching.
4	Lacebark Elm	Ulmus parvifolia	4" Caliper	10-12' ht., 5-6' sp., full, matching.
4	Live Oak	Quercus virginiana	4" Caliper	10-12' ht., 5-6' sp., full, matching.
3	Bald Cypress	Taxodium distichum	4" Caliper	10-12' ht., 5-6' sp., full, matching.
ORNAMENTAL TREES				
3	Eve's Necklace	Sophora affinis	2.5" Caliper, 8' ht.,	full pot, well rooted, matching.
SHRUBS & VINE				
26	NRS. Holly	Ilex x. Nello R. Stevens	7 gal.	full pot, well rooted, 4' O.C.
24	Abelia	Abelia grandiflora	5 gal.	30"-34" ht., 18-24" sp., full pot, well rooted; 36" O.C.
15	Burford Holly	Ilex cornuta burfordi "Nana"	5 gal.	24"-28" ht., 18-24" sp., full pot, well rooted, 36" O.C.
7	Dwf. Abelia	Abelia grandiflora "Nana"	5 gal.	24"-28" ht., 18-24" sp., full pot, well rooted.
GROUNDCOVERS, & LAWN				
	Bermudagrass	Cynodon dactylon		Hydrated mulched.

exist. tree legend

- (+) EXISTING TREE SAVE : (S)
- (-) EXISTING TREE REMOVE : (R)

PLANTING PLAN

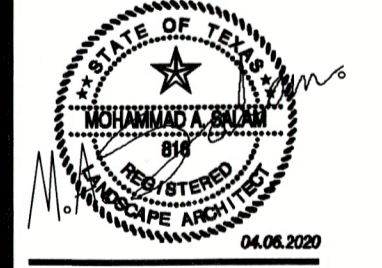


THE CENTRAL LEADER FOR SHADE TREES SHALL BE INTACT

revision

△	JUL. 23,2020
△	SEP. 07,2020
△	JAN. 25,2021

shown
 PLANTING PLAN & DETAILS



date
 APR. 07, 2020
sheet
 LP.01

DAIKER PARTNERS, LTD.
 VOL. 4805, PG. 52
 D.R.R.C.T.
 ZONED - COMMERCIAL

COIT RIDGE PROPERTIES, LLC
 A TEXAS LIMITED LIABILITY COMPANY
 VOL. 4362, PG. 75
 D.R.R.C.T.

REPLAT OF ROCKWALL EXECUTIVE CENTER
 CAB. C, SLIDE 163
 P.R.R.C.T.
 PSB INDEMNITY FAMILY LIMITED PARTNERSHIP
 (REMAINDER OF TRACT 1)
 VOL. 1322, PG. 37
 D.R.R.C.T.
 ZONED - COMMERCIAL

PSB INDEMNITY FAMILY LIMITED PARTNERSHIP
 (TRACT 2)
 VOL. 1322, PG. 37
 D.R.R.C.T.
 ZONED - COMMERCIAL

SUBJECT DEED
 Owner: CENTERS FOR PEACE AND MERCY, INC
 Parcel Number: 10597 & 10608
 Deed Reference: 20180000012560

LOT 1, BLOCK A
 119,184 Sq. Feet
 2.74 Acres
 SAN SEWER MH
 TOP M.N. = 482.79
 8" IN = 475.29
 8" IN = 475.29
 8" OUT = 475.19

10' SEWER ESMT.
 CAB. B, SLIDE 6
 R.R.R.C.T.

10' SAN. SEW. ESMT.
 VOL. 162, PG. 223

10' SAN. SEW. ESMT.
 VOL. 162, PG. 223

15' SEWER ESMT.
 CAB. B, SLIDE 135
 CAB. C, SLIDE 163
 P.R.R.C.T.

SAN SEWER MH
 SAO, TOP M.N. = 483.75
 8" IN = 476.25
 8" IN = 476.15
 8" OUT = 476.05

20' SAN. SEW. ESMT.
 VOL. 162, PG. 223

20' SAN. SEW. ESMT.
 VOL. 162, PG. 223

20' SAN. SEW. ESMT.
 VOL. 162, PG. 223

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 VOL. 162, PG. 223

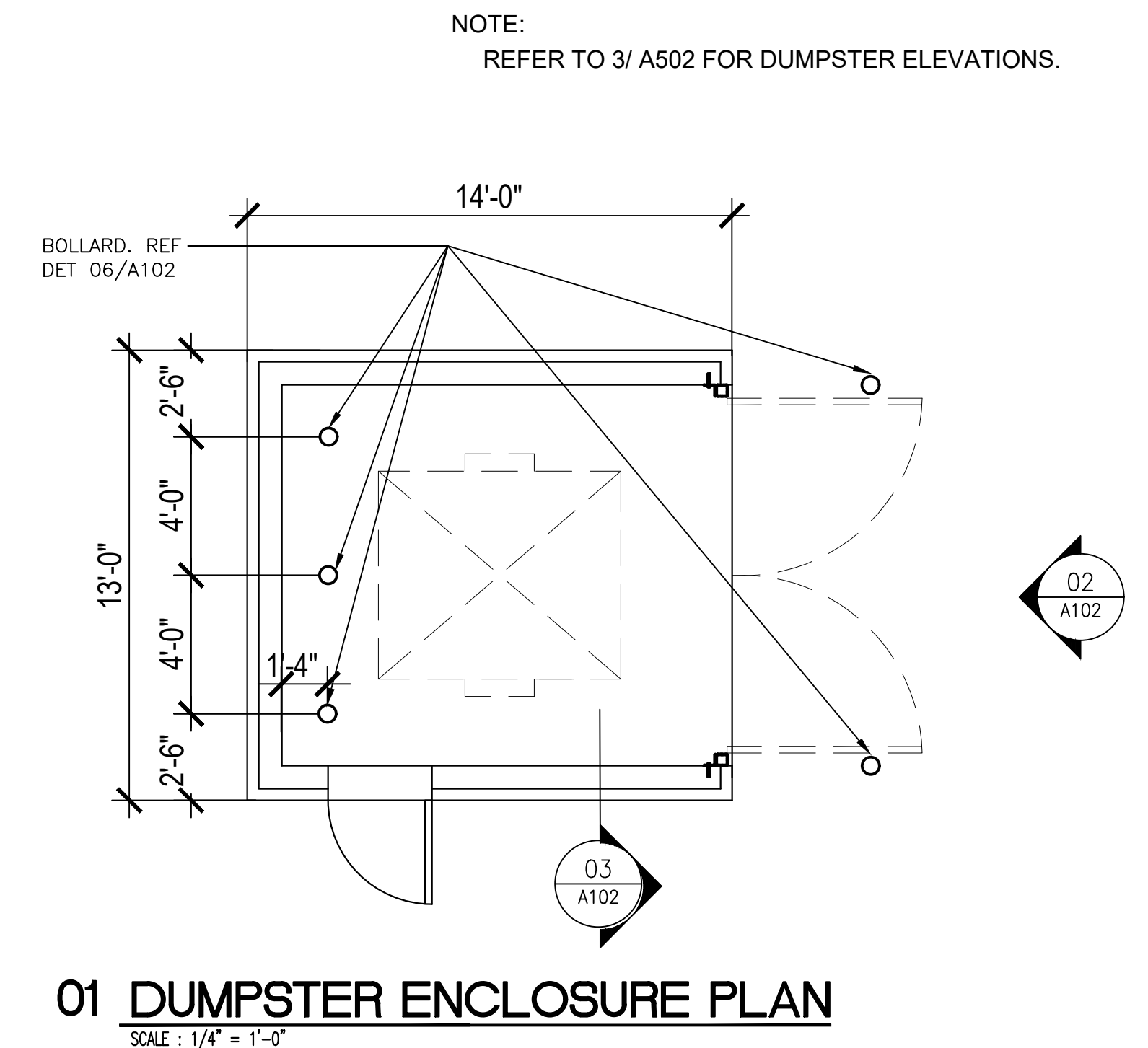
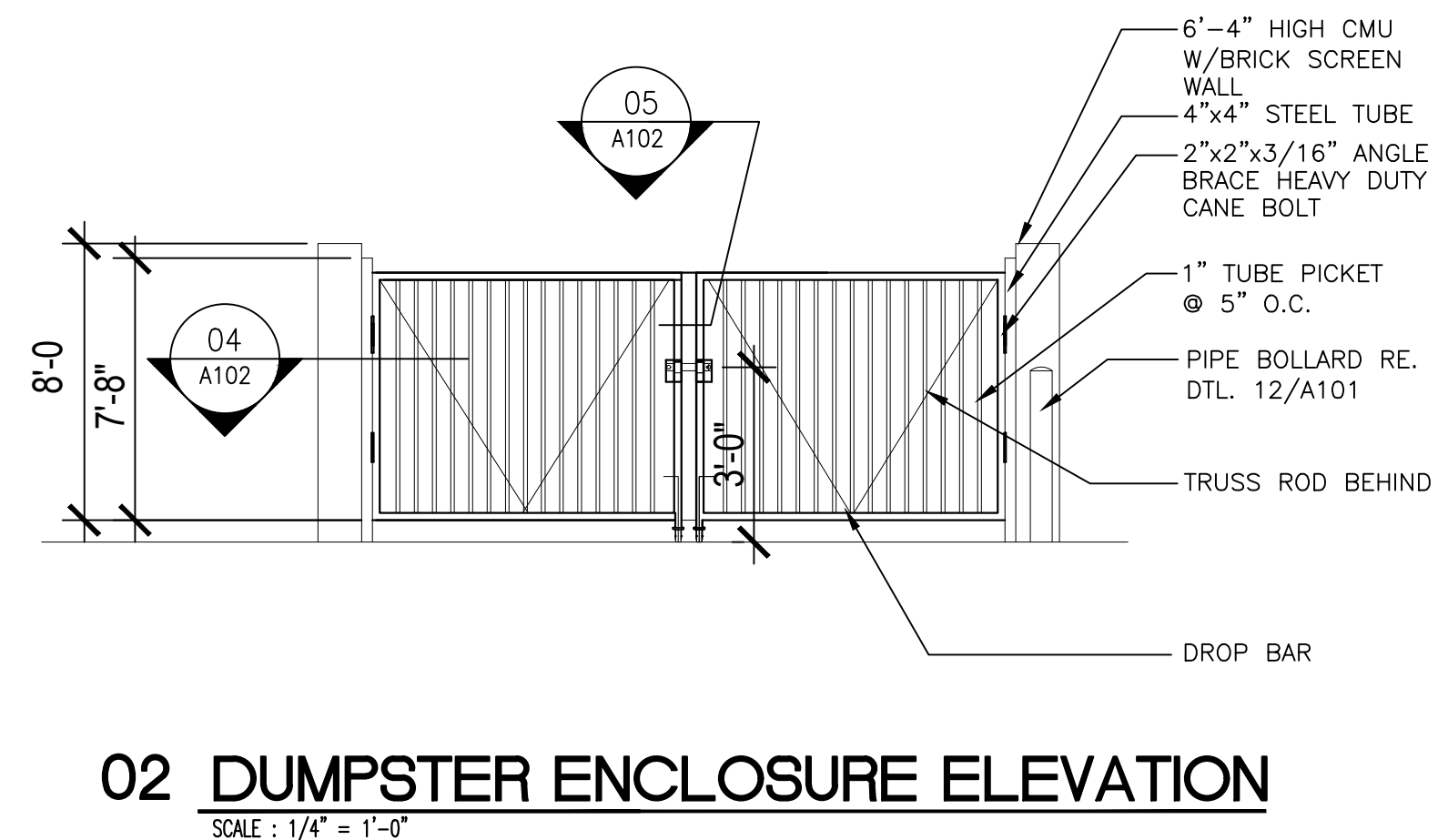
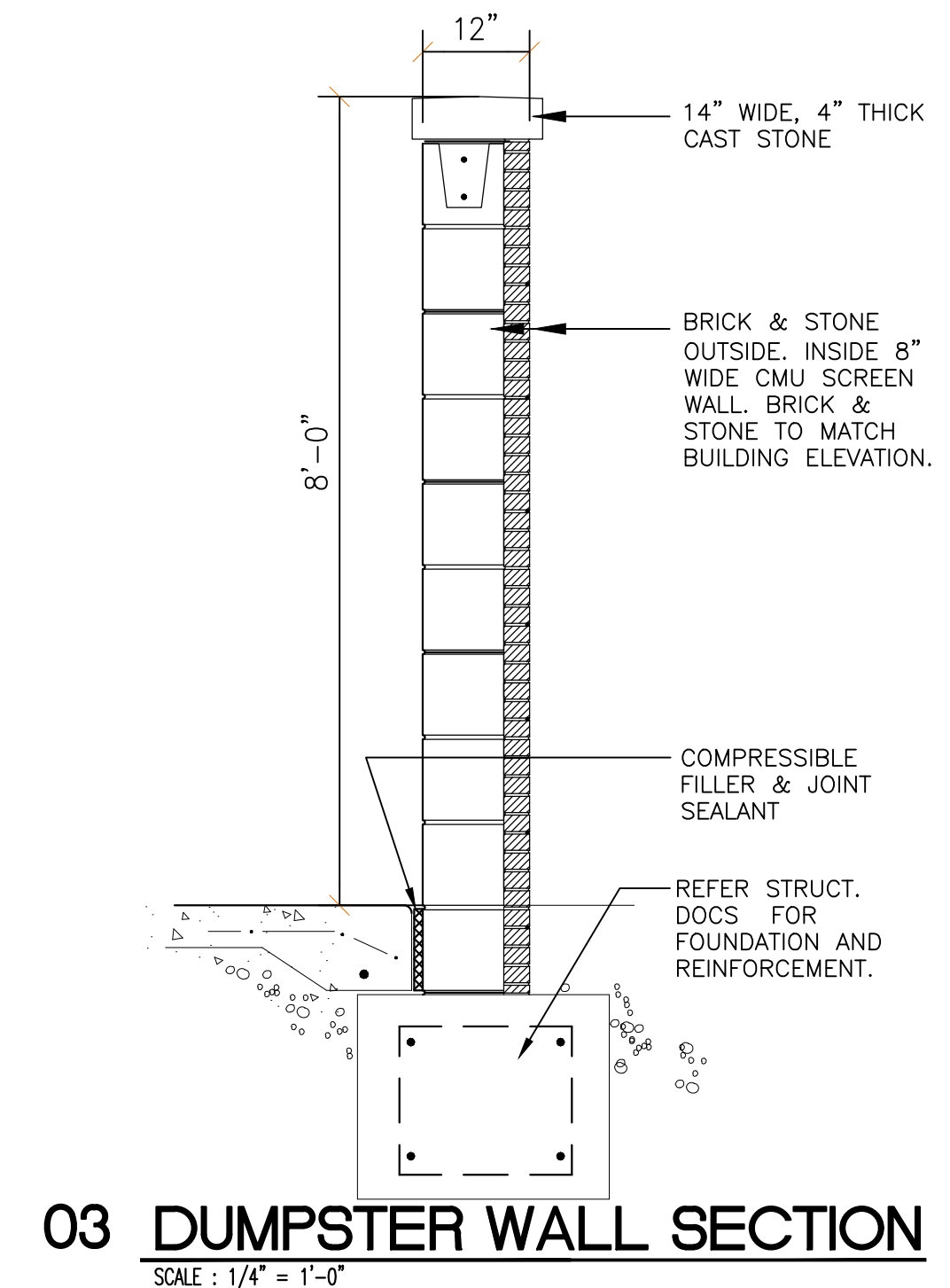
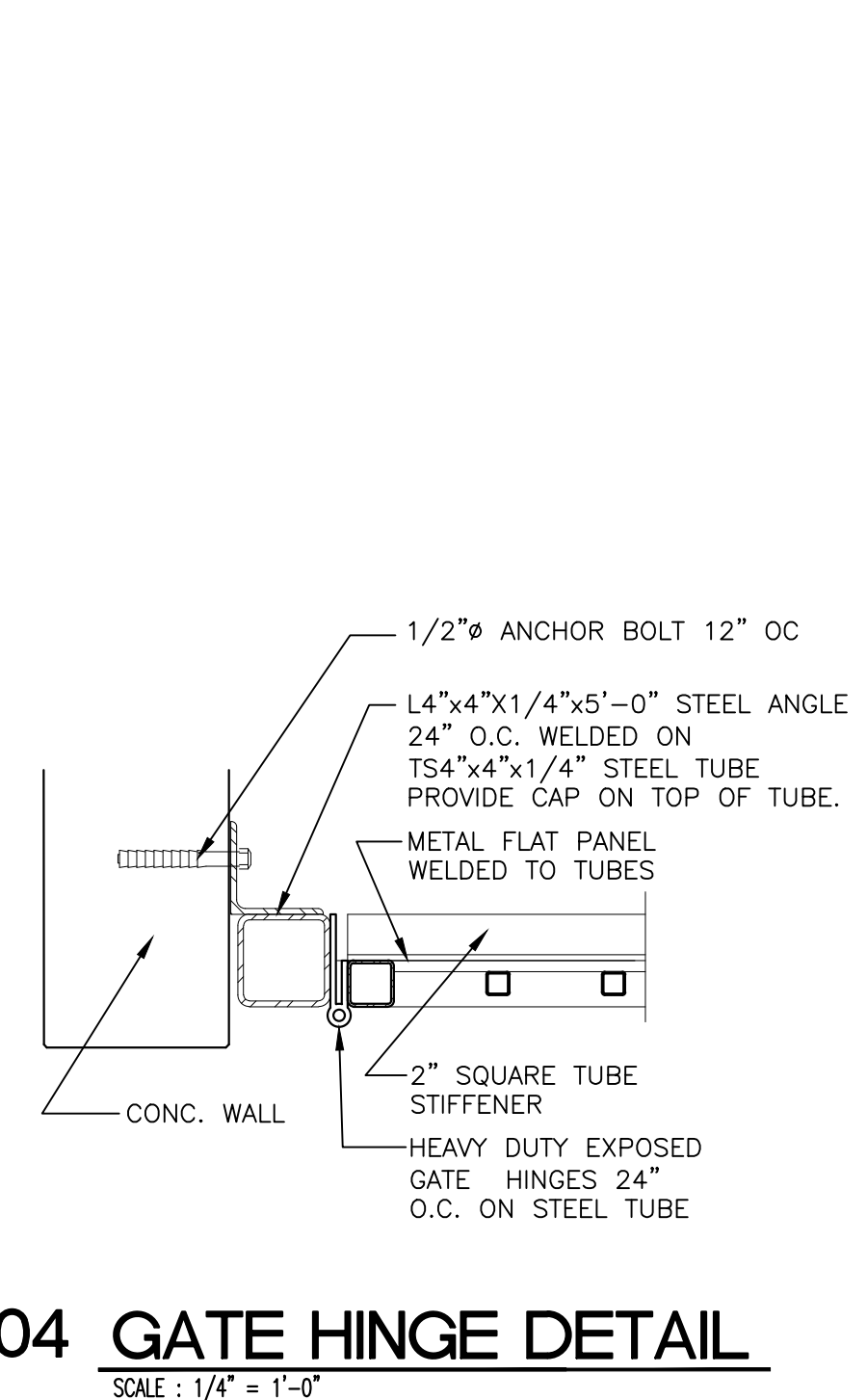
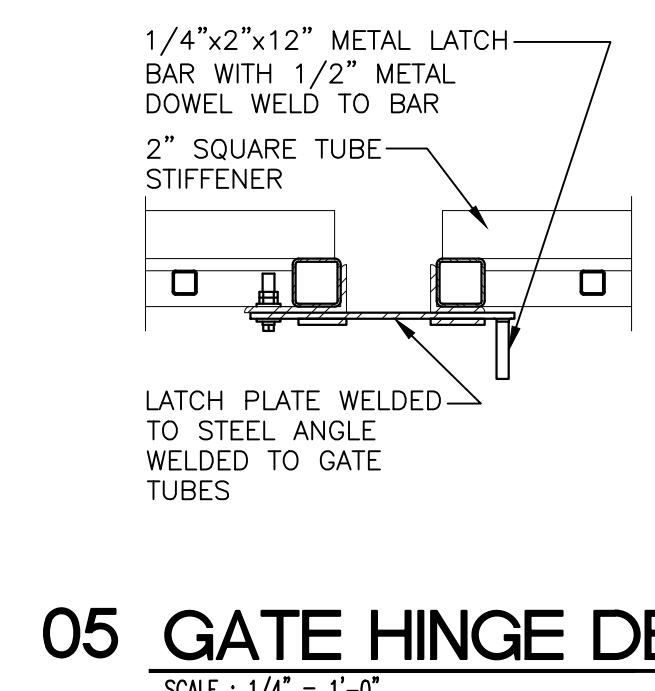
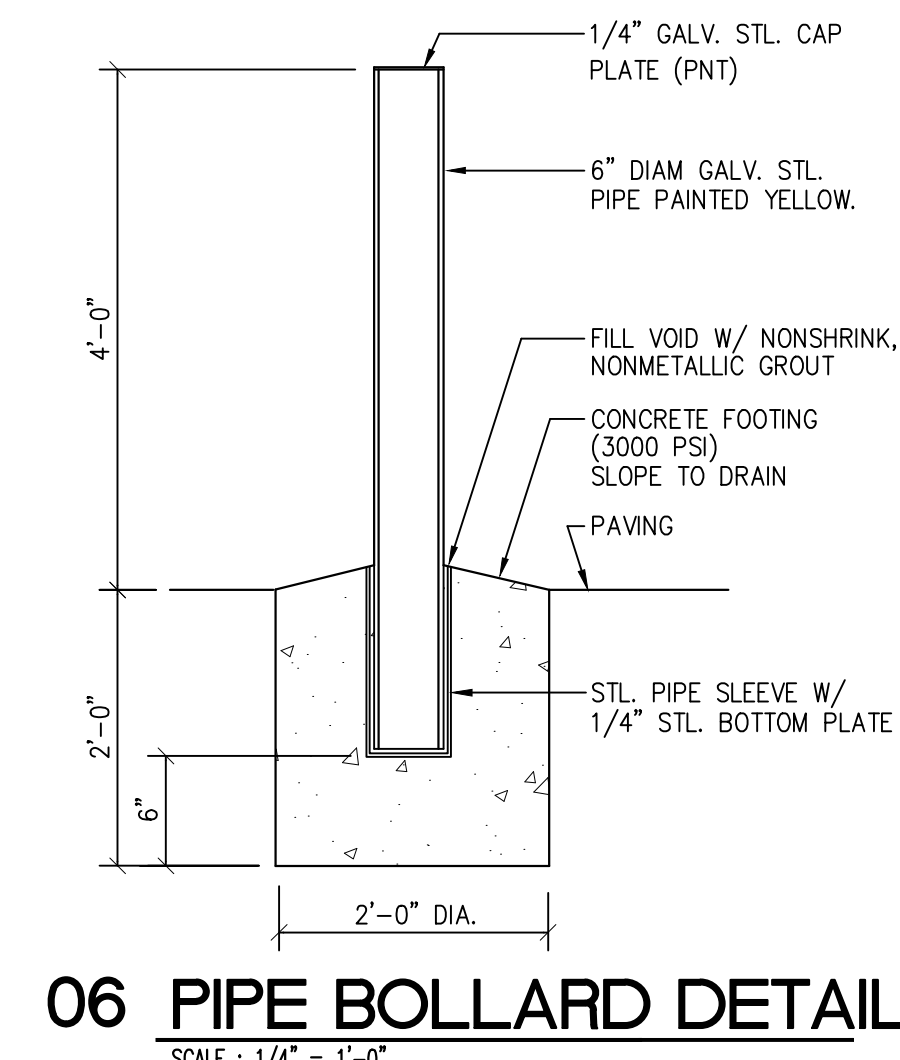
20' SAN. SEW. ESMT.
 VOL. 162, PG. 223

20' SAN. SEW. ESMT.
 VOL. 162, PG. 223

- TYPICAL SITE PLAN NOTES:**
1. ALL UTILITY SERVICES NEEDS TO BE VERIFIED REFER TO CIVIL & MEP DRAWINGS.
 2. KEEP WORK AREA CLEAN AND SAFE DURING WORKING HOURS AND DISPOSE TRASHES END OF THE DAY.
 3. REFER TO CIVIL DRAWINGS FOR FINAL GRADING.
 4. REFER TO CIVIL & SURVEY DRAWINGS FOR LAND BOUNDARY & AREA.
 5. REFER TO CIVIL FOR ROAD CURBS, DETAILS & DIMENSION CONTROL NUMBERS.
 6. REFER TO CIVIL FOR ADDITIONAL PROJECT DATA.
 7. REFER TO CIVIL FOR DUMPSTER AREA DRAIN DETAILS.

OWNER:
CENTER FOR PEACE AND MERCY, INC.
PHONE: 318-617-3491
EMAIL: Peacemercyinc@gmail.com

PROJECT:
RETAIL BUILDING
PHASE-1
600 Turtle Cove Boulevard, Rockwall, Tx 75087



REVISIONS:

ARCHITECT OF THE RECORD:
 Fokruddin Khondaker AIA, NCARB
Oculus Architects, Inc.
 14310 Rich Branch Dr.
 North Potomac, MD 20878
 Tel: (800) 609 4806



12/26/2022
amazing concept
 residential & commercial projects
 545 Coventry Drive, Grapevine, Tx 76051
 Tel: (817) 806 0811
 E-mail: okm.heluzzaman@gmail.com

SHEET TITLE:
 SITE DETAILS

DATE:	SCALE:
06.09.2021	AS SHOWN
DRAWN:	DESIGNER:
	A. HELALUZZAMAN
PROJECT #	H-2019-02
SHEET NO:	A102

WAHEED CONSULTING
 420 PARKSIDE COURT
 MURPHY, TEXAS 75084
 PH: 817-793-2010
 FIRM #: F-6336

OWNER:
 CENTER FOR PEACE AND MERCY, INC.
 PHONE: 318-617-3491
 EMAIL: Peacemercyinc@gmail.com

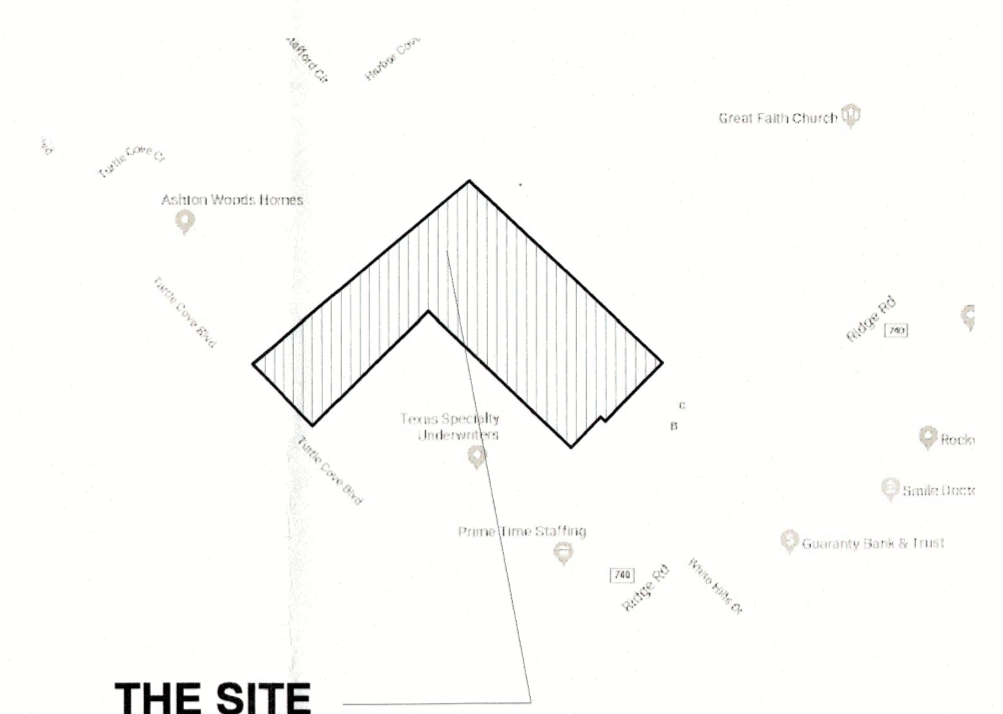
PROJECT:
 RETAIL BUILDING
 PHASE-1
 600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:

amazing concept
 residential & commercial projects
 545 Coventry Drive, Grapevine, Tx 76051
 Tel: (817) 808 0811
 E-mail: akm.helaluzzaman@gmail.com

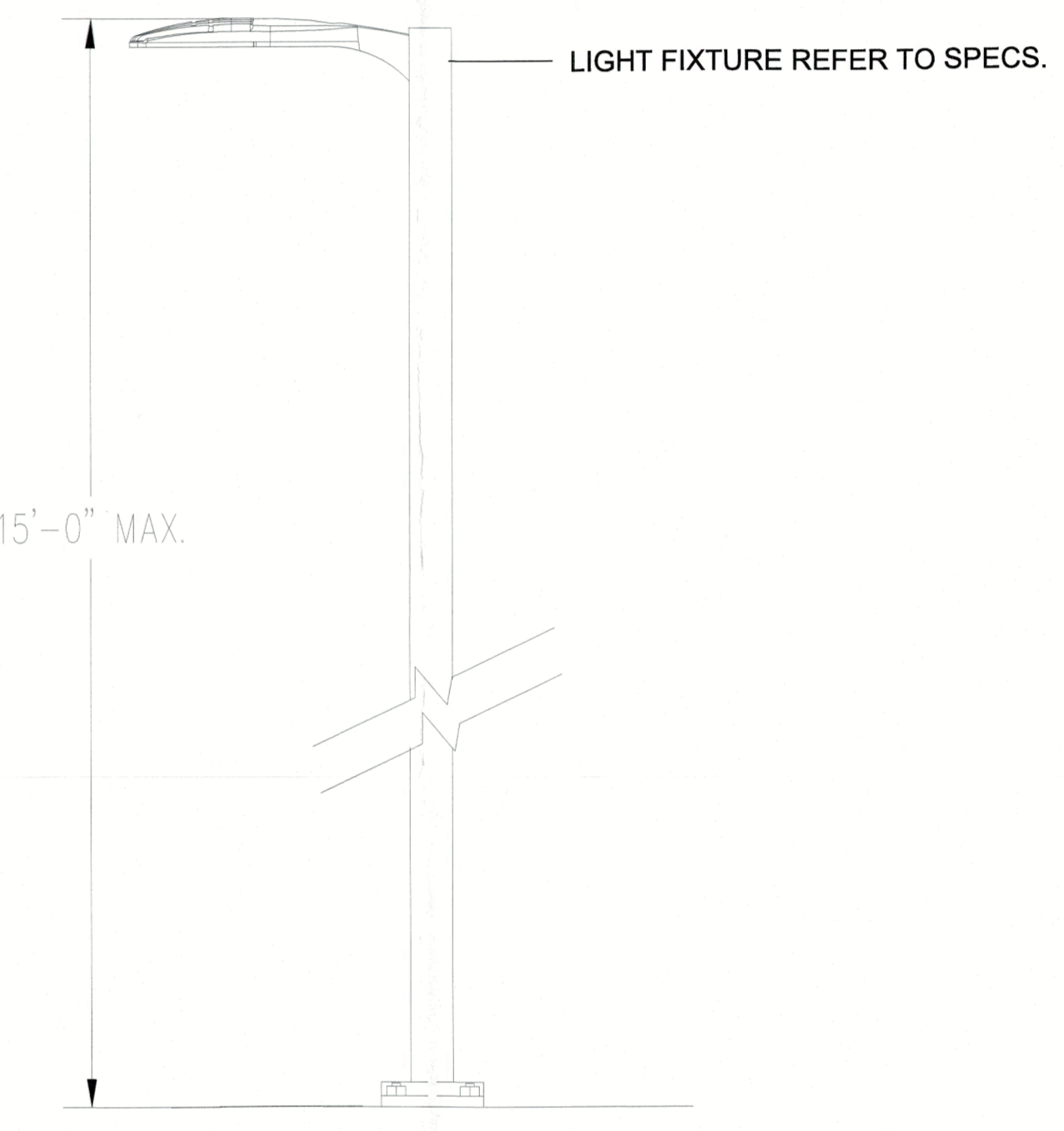
SHEET TITLE:
 PHOTOMETRIC PLAN

DATE: 06.11.2019
 SCALE: AS SHOWN
 DRAWN: DESIGNER:
 A. HELALUZZAMAN
 PROJECT # **H-2019-02**
 SHEET NO: **ESP**

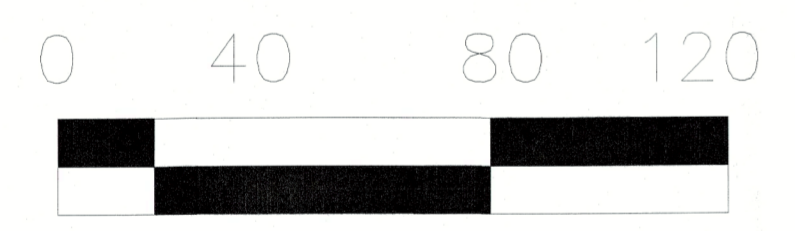
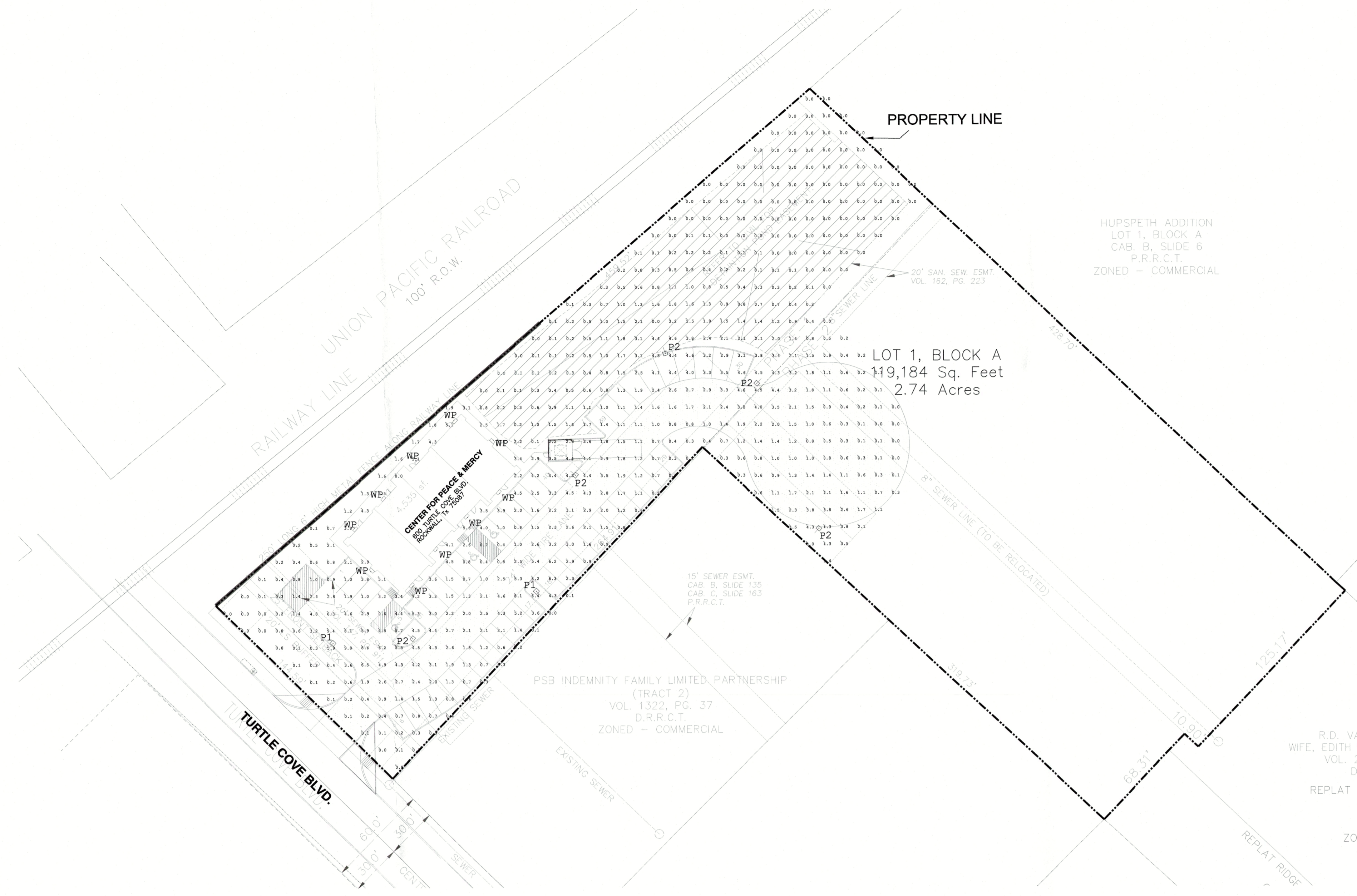


THE SITE
 600 TURTLE COVE DR.
 ROCKWALL, TX 75087

02 VICINITY MAP
 SCALE: 1"=40'-0"



03 TYPICAL SITE POLE
 SCALE: N.T.S.



01 PHOTOMETRIC PLAN
 SCALE: 1"=40'-0"

SITE DATA TABLE	
DESCRIPTION	
ZONING (FROM ZONING MAP)	COMMERCIAL (C) DISTRICT
ZONING	COMMERCIAL (C) DISTRICT
OVERLAY DISTRICT	SCENIC OVERLAY DISTRICT (SOD)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,535 SF.
LOT COVERAGE	8.13%
FLOOR AREA RATIO	0.038:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
RETAIL AREA	2,263 SF.
ASSEMBLY (WORSHIP)	2,267 SF.
WORSHIP OCCUPANTS	120 M + 30 W = 150 TOTAL
RETAIL OCCUPANTS	2,268 / 60 = 37.8 (SAY 38)
PARKING REQUIRED (WORSHIP)	150/4 = 37.5 (SAY 38)
PARKING REQUIRED (RETAIL)	2,268/200 = 11.34 (SAY 12)
TOTAL PARKING REQUIRED	38+12 = 50
TOTAL PARKING PROVIDED	52 INCLUDING 3 ADA

Calculation Summary							
Label	Qty	CalcType	Units	Avg	Max	Min	Avg/Min
Free Grid		ILLUMINANCE	Fc	1.51	9.8	0.0	N.A.

Luminaire Schedule						
LABEL	Qty	Symbol	MANUFAC	Description	Lum. Lumens	Lum. Watts
P1	2	☐	Lithonia Lighting	DSX1 LED P3 50K BLC MVOLT	10439	102
P2	5	☐	Lithonia Lighting	DSX1 LED P3 50K TSM MVOLT	13218	102
WP	10	☐	Lithonia Lighting	WSQ LED 1 10A700_40K SR2 MVOLT	2159	24

CASE NO.: SP2019-014

